

96 296191

RECORDING REQUESTED BY

NORTH AMERICAN TITLE

32-80202-03

WHEN RECORDED MAIL TO:

Westport Engineering
6355 Topanga Canyon Blvd. #333
Woodland Hills, Ca 91367

RECORDED/FILED IN OFFICIAL RECORDS
RECORDER'S OFFICE
LOS ANGELES COUNTY
CALIFORNIA
FEB 23 1996 AT 8 A.M.

(SPACE ABOVE THIS LINE FOR RECORDER'S USE)

FEE \$ 8200 K

26

AMENDED AND RESTATED CONDOMINIUM PLAN
PHASE II

D.A. FEE Code 20 \$ 2.00

NCPF Code 19 \$ 78.00

WHEN RECORDED MAIL TO:

WESTPORT ENGINEERING INC.
6355 TOPANGA CANYON BLVD. #333
WOODLAND HILLS, CA 91367

SHEET 1 OF 24 SHEETS

**AMENDED AND RESTATED
CONDOMINIUM PLAN**

PHASE II

LEGAL DESCRIPTION:

LOT 1 OF TRACT NO. 50779, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES STATE OF CALIFORNIA PER MAP FILED IN BOOK 1202 PAGES 3 AND 4 OF MAPS, RECORDS OF LOS ANGELES COUNTY.

OWNERS STATEMENT:

WE THE UNDERSIGNED, BEING THE RECORD OWNERS OF THE LAND INCLUDED WITHIN THIS PROJECT AND THE RECORD HOLDERS OF SECURITY INTERESTS HEREIN, HEREBY CONSENT TO THE REVOCATION OF THAT CERTAIN CONDOMINIUM PLAN RECORDED 12/3/93 AS INSTRUMENT NO. 93-2370005 O.R., AND HEREBY CONSENT TO THE RECORDING OF THIS PLAN PURSUANT TO THE PROVISIONS OF CHAPTER 1 TITLE 6, PART 4, DIVISION SECOND OF THE CALIFORNIA CIVIL CODE. A DIAGRAMMATIC FLOOR PLAN OF THE BUILDING, BUILT ON SAID LAND AND CERTIFICATE AS REQUIRED UNDER CALIFORNIA CIVIL SECTION 1351.

**CITY VIEW TERRACES,
A California Limited Partnership**

BY: TELECU AFFORDABLE HOUSING, INC.,
A California Corporation (Partner), Owner

BY: [Signature]
Anthony P. Souza - President
BY: _____

THE EAST LOS ANGELES COMMUNITY UNION,
A California Non-Profit Corporation, (Partner)

BY: [Signature]
David C. Lizarraga - Chairperson

**STATE OF CALIFORNIA
COUNTY OF LOS ANGELES }SS**

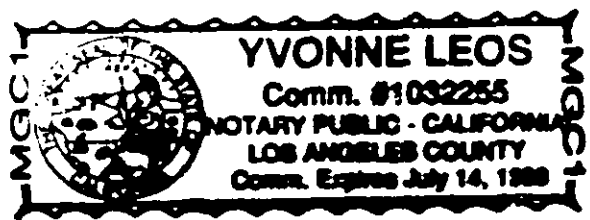
~~ON _____, 1995, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED _____ AND _____ PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THEIR AUTHORIZED CAPACITIES, AND THAT BY THEIR SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.~~

**STATE OF CALIFORNIA
COUNTY OF LOS ANGELES }SS**

ON 12-5, 1995, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED Anthony P. Souza AND David C. Lizarraga PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THEIR AUTHORIZED CAPACITIES, AND THAT BY THEIR SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
NOTARY PUBLIC
NAME Yvonne Leos
COUNTY OF LOS ANGELES
MY COMMISSION EXPIRES: 7-14-98



AMENDED AND RESTATED
CONDOMINIUM PLAN

PHASE II

LEGAL DESCRIPTION:

LOT 1 OF TRACT NO. 50779, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES STATE OF CALIFORNIA PER MAP FILED IN BOOK 1202 PAGE 3 AND 4 OF MAPS, RECORDS OF LOS ANGELES COUNTY.

OWNERS STATEMENT:

WE THE UNDERSIGNED, BEING THE RECORD OWNERS OF THE LAND INCLUDED WITHIN THIS PROJECT AND THE RECORD HOLDERS OF SECURITY INTERESTS HEREIN, HEREBY CONSENT TO THE REVOCATION OF THAT CERTAIN CONDOMINIUM PLAN RECORDED 12/3/93 AS INSTRUMENT NO. 93-2370005 O.R., AND HEREBY CONSENT TO THE RECORDING OF THIS PLAN PURSUANT TO THE PROVISIONS OF CHAPTER 1 TITLE 6, PART 4, DIVISION SECOND OF THE CALIFORNIA CIVIL CODE. A DIAGRAMMATIC FLOOR PLAN OF THE BUILDING, BUILT ON SAID LAND AND CERTIFICATE AS REQUIRED UNDER CALIFORNIA CIVIL SECTION 1351.

FIRST INTERSTATE BANK OF CALIFORNIA,
A CALIFORNIA CORPORATION, (BENEFICIARY)

UNDER A DEED OF TRUST RECORDED DECEMBER 17, 1992 AS INSTRUMENT NO. 92-2369049, OF OFFICIAL RECORDS, RECORDS OF LOS ANGELES COUNTY:

BY: *Eileen M. Smith*
Eileen M. Smith
Vice President

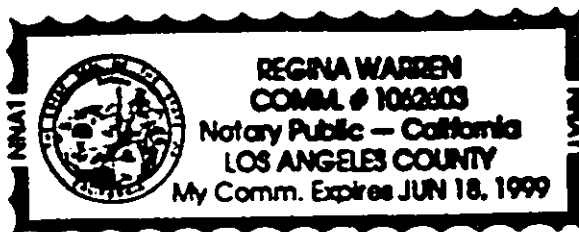
STATE OF CALIFORNIA
COUNTY OF LOS ANGELES }SS

ON 12-5-95, 1995, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED Eileen M. Smith AND ---- PERSONALLY KNOWN TO ME (~~OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE~~) TO BE THE PERSONS WHOSE NAMES ~~ARE~~ SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT ~~THEY~~ EXECUTED THE SAME IN ~~THEIR~~ AUTHORIZED CAPACITIES, AND THAT BY ~~THEIR~~ SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL.

Regina Warren
NOTARY PUBLIC

NAME Regina Warren
COUNTY OF LOS ANGELES
MY COMMISSION EXPIRES: 6-18-99



**AMENDED AND RESTATED
CONDOMINIUM PLAN**

PHASE II

LEGAL DESCRIPTION:

LOT 1 OF TRACT NO. 50779, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES STATE OF CALIFORNIA PER MAP FILED IN BOOK 1202 PAGE 3 AND 4 OF MAPS, RECORDS OF LOS ANGELES COUNTY.

OWNERS STATEMENT:

12/3/93 *[Signature]*

WE THE UNDERSIGNED, BEING THE RECORD OWNERS OF THE LAND INCLUDED WITHIN THIS PROJECT AND THE RECORD HOLDERS OF SECURITY INTERESTS HEREIN, HEREBY CONSENT TO THE REVOCATION OF THAT CERTAIN CONDOMINIUM PLAN RECORDED 12/3/93 INSTRUMENT NO. 93-2370005 O.R., AND HEREBY CONSENT TO THE RECORDING OF THIS PLAN PURSUANT TO THE PROVISIONS OF CHAPTER 1 TITLE 6, PART 4, DIVISION SECOND OF THE CALIFORNIA CIVIL CODE. A DIAGRAMMATIC FLOOR PLAN OF THE BUILDING, BUILT ON SAID LAND AND CERTIFICATE AS REQUIRED UNDER CALIFORNIA CIVIL SECTION 1351.

CENTURY HOUSING CORPORATION,

A CALIFORNIA NON-PROFIT CORPORATION, SUCCESSOR-IN-INTEFEST TO THE STATE OF CALIFORNIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT, BENEFIC ARY, UNDER DEED OF TRUST RECORDED DECEMBER 17, 1992 AS INSTRUMENT NO. 92-2369050, OF OFFICIAL RECORDS.

BY: *[Signature]*
G. Allan Kingston
President/CEO

**STATE OF CALIFORNIA
COUNTY OF LOS ANGELES }SS**

ON _____, 1995, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED _____ AND _____ PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THEIR AUTHORIZED CAPACITIES, AND THAT BY THEIR SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

NAME _____
COUNTY OF LOS ANGELES
MY COMMISSION EXPIRES: _____

ENGINEER'S STATEMENT:

I HEREBY STATE THAT I AM A REGISTERED CIVIL ENGINEER OF THE STATE OF CALIFORNIA, THAT THIS PLAN CONSISTING OF 24 SHEETS CORRECTLY REPRESENTS A TRUE AND COMPLETE SURVEY OF THIS PROJECT MADE UNDER MY SUPERVISION ON AUGUST 24, 1995 AND THE LOCATION OF BUILDINGS AND AIRSPACE AS BUILT.

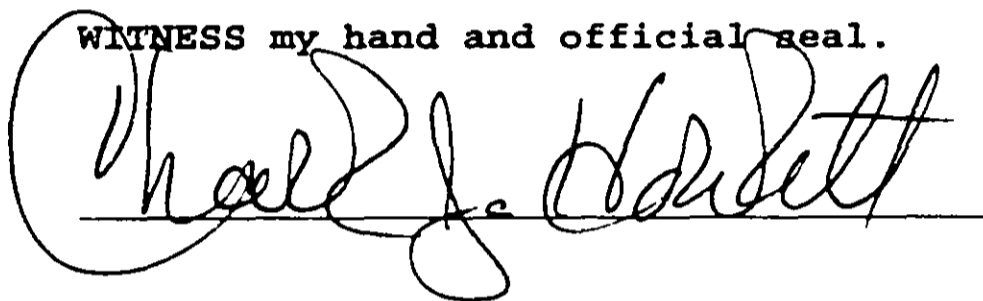
ATANAS STERYO R.C.E. 23221
MY REGISTRATION EXPIRES 12/31/97

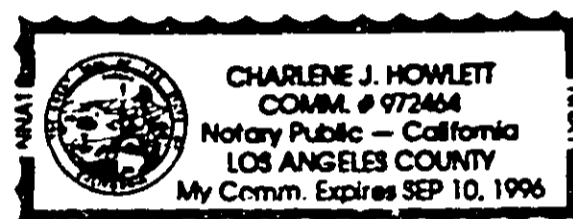
DATE

State of California }
County of Los Angeles }

On December 7, 1995 before me, Charlene J. Howlett, Notary Public, personally appeared G. Allan Kingston, personally known to me ~~or proved to me on the basis of satisfactory evidence~~ to be the person whose name is ~~are~~ subscribed to the within instrument and acknowledged to me that he ~~she/they~~ executed the same in his ~~her/their~~ authorized capacity ~~(ies)~~, and that by his ~~her/their~~ signature on the instrument the person , or the entity upon behalf of which the person acted, executed the instrument.

WITNESS my hand and official seal.





96 296191

NOTES AND DEFINITIONS

1. This condominium project is composed of Association Property, Common Area, and 19 Units.
2. The Association Property of this project is the land and real property, including all improvements constructed thereon, within Module "A" described herein, and located within the boundary lines of Lot 1 of Tract No. 50779 in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in Book 1202, Pages 3 and 4 of Maps, in the office of the County Recorder of said County, except therefrom those portions shown and defined herein as Units.
3. Module "A" as designated on this plan is a three dimensional air space, the lateral boundaries of which are vertical planes at the limits of the boundaries thereof as delineated herein. The upper vertical boundary of Module "A" shall be an elevation of 493.0 Feet. The lower vertical boundary of Module "A" shall extend indefinitely downward.

Module "B" as designated on this plan is a three dimensional air space, the lateral boundaries of which are vertical planes at the limits of the boundaries thereof as delineated herein. The lower vertical boundary of Module "B" shall be an elevation of 493.0 Feet. The upper vertical boundary of Module "B" shall extend indefinitely upward.

The common area, units, and the association property of module "C" will be shown and defined in a separate and distinct condominium plan, or plans applicable only to modules "C", (which condominium plan, or plans, is not part of, and shall not constitute and amendment to, the within condominium plan).

Common area shall mean Module "B" as shown on this plan and defined hereinabove.
4. The following are not part of a unit: bearing walls, columns, vertical supports, floors, roofs, foundations, beams, balcony railings, pipes, ducts, flues, chutes, conduits, wires, and other utility installations, wherever located, except the outlets thereof when located within the unit, and except any surface noted therein as forming a part of an element of a unit.
5. The units of this project are numbered 101, 102, 201 through 204; 301 through 305; 401 through 404; and 501 through 504, all inclusive. A unit consists of all those elements bearing an identical number designation. The number designation of an element coincides with the number of that unit of which it is a part. Whenever reference is made to any of said units, it shall be construed that reference is made to the unit as a whole and to each and all of its component elements.
6. This plan and the dimensions shown hereon are intended to conform to Civil Code Section 1351 which requires diagrammatic floor plans of the building built or to be built thereon in sufficient detail to identify each unit, its relative location and approximate dimensions. The dimensions shown hereon are not intended to be sufficiently accurate to use for computation of floor area or airspace volume in any and all of the units.
7. These diagrammatic plans intentionally omit detailed information of internal partitioning within individual units. Likewise, such details as protrusions of vents, beams, columns, window casings, lowered ceilings, and other such features are not intended to be reflected on this plan.
8. Each of those areas shown on this plan bearing the letter designation "A" is an element of a unit consisting of a dwelling area. The lateral boundaries of each such element are the interior surfaces of the perimeter walls, windows, and doors thereof at the limits indicated on the respective portions thereof. The lower vertical boundary of each such element is the interior surface of the floor thereof at the elevation as shown on the plan herein. The upper vertical boundary is the interior surface of the ceiling thereof at the elevation as shown on the plan herein. Each such element includes the respective portions of the building and improvements lying within said boundaries (except as stated in Note 4 above), the airspace so encompassed, and the surfaces so described.
9. Each of those areas shown on this plan bearing the letter designation "G" is an element of a unit consisting of a garage area (G). The lateral and vertical boundaries of each such element are the exterior surfaces of the perimeter walls, windows and doors of the adjacent building structure, where such surfaces adjoin such element, and the interior surfaces of the perimeter walls, floors and ceilings of each such element where such surfaces exist. Otherwise, the lateral and vertical boundaries of each such element are vertical and horizontal planes at the dimensions and elevations shown hereon for each such element. Each such element includes only the airspace encompassed by said boundaries (except as stated in Note 4 above).
10. Each of those areas shown on this plan bearing the letter designation "S" is an element of a unit consisting of a storage area (S). The lateral and vertical boundaries of each such element are the exterior surfaces of the perimeter walls, windows and doors of the adjacent building structure, where such surfaces adjoin such element, and the interior surfaces of the perimeter walls, floors and ceilings of each such element, where such surfaces exist. Otherwise, the lateral and vertical boundaries of each such element are vertical and horizontal planes at the dimensions and elevations shown hereon for each such element. Each such element includes only the airspace encompassed by said boundaries (except as stated in Note 4 above).

11. Exclusive use area shall mean and refer to that portion of the Association Property which is reserved for the exclusive use of the owners of particular condominium units. The exclusive use Association Property constitutes an exclusive easement appurtenant to its assigned condominium unit, subject to the exclusive uses and purpose set forth herein and in the covenants, conditions, and restrictions. The exclusive use Association Property and the condominium units, the owners of which are entitled to such exclusive use, are identified herein as follows:

"Balconies" are identified with the letter "B", and are hereby assigned to the condominium units to which they are adjacent as delineated herein.

"Patios" are identified with the letter "P", and are hereby assigned to the condominium units to which they are adjacent as delineated herein.

The lateral and vertical boundaries of each such area are the exterior surfaces of the perimeter walls, windows and doors of the adjacent building structure, where such surfaces adjoin such area, and the interior surfaces of the perimeter walls, floors and ceilings of each such area where such surfaces exist. Otherwise, the lateral and vertical boundaries of each such area are vertical and horizontal planes at the dimensions and elevation shown hereon for each such area. Each such area includes only the airspace encompassed by said boundaries (except as stated in Note 4 above).

12. Each parking space designated as "guest parking" shall be reserved for exclusive use of guests or visitors of building residents.
13. The boundary lines of all elements intersect at right angles unless otherwise indicated, and all ties from lot lines are to interior boundaries of buildings unless otherwise indicated.
14. For purpose hereof, "U.E." means upper elevation and "L.E." means lower elevation. "*" means common floor/corner with floor above or below.
15. The vertical limits of all air spaces are horizontal planes having elevations shown as L.E. and U.E. on the respective portions thereof, except those portions having inclined planes on the respective portion thereof.
16. All horizontal distances between all adjoining units is 0.8' unless otherwise noted on sheets 10 thru 24.

LEGEND

- INDICATES PROJECT BOUNDARY
- 203G INDICATES UNIT 203 GARAGE
- 204P INDICATES UNIT 204 PATIO
- U.E. INDICATES UPPER ELEVATIONS
- L.E. INDICATES LOWER ELEVATIONS
- INDICATES COMMON CORNER WITH ABOVE OR BELOW

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING NORTH 89°01'28" EAST OF THE CENTERLINE OF BALDWIN STREET AS SHOWN ON SAID TRACT NO. 50779.

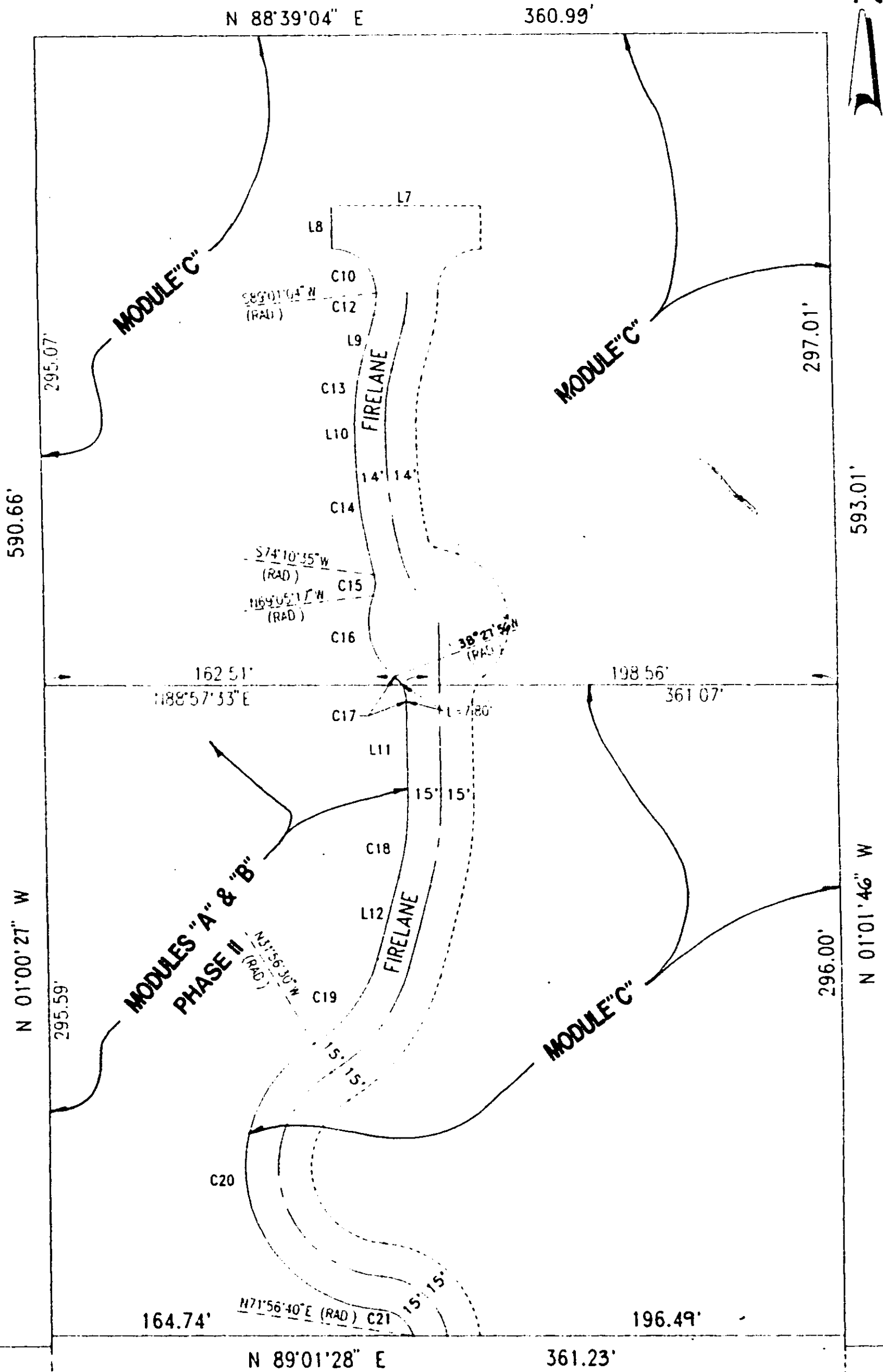
BENCH MARK:

ELEVATION: 402.944 (1960)
LOS ANGELES CITY BENCH MARK NO. 1103995 STD. SURVEY MON. ON CENTERLINE LINCOLN PARK AV. PROD FROM SOUTH, 10 FT S OF N CURB LINE PROD N BROADWAY.

CONDOMINIUM PLAN TRACT NO. 50779

SEE NEXT SHEET FOR CURVE AND LINE TABLE DATA.

SCALE 1"=60'



BALDWIN

STREET

LEITH STREET

96 296191

CONDOMINIUM PLAN
TRACT NO. 50779

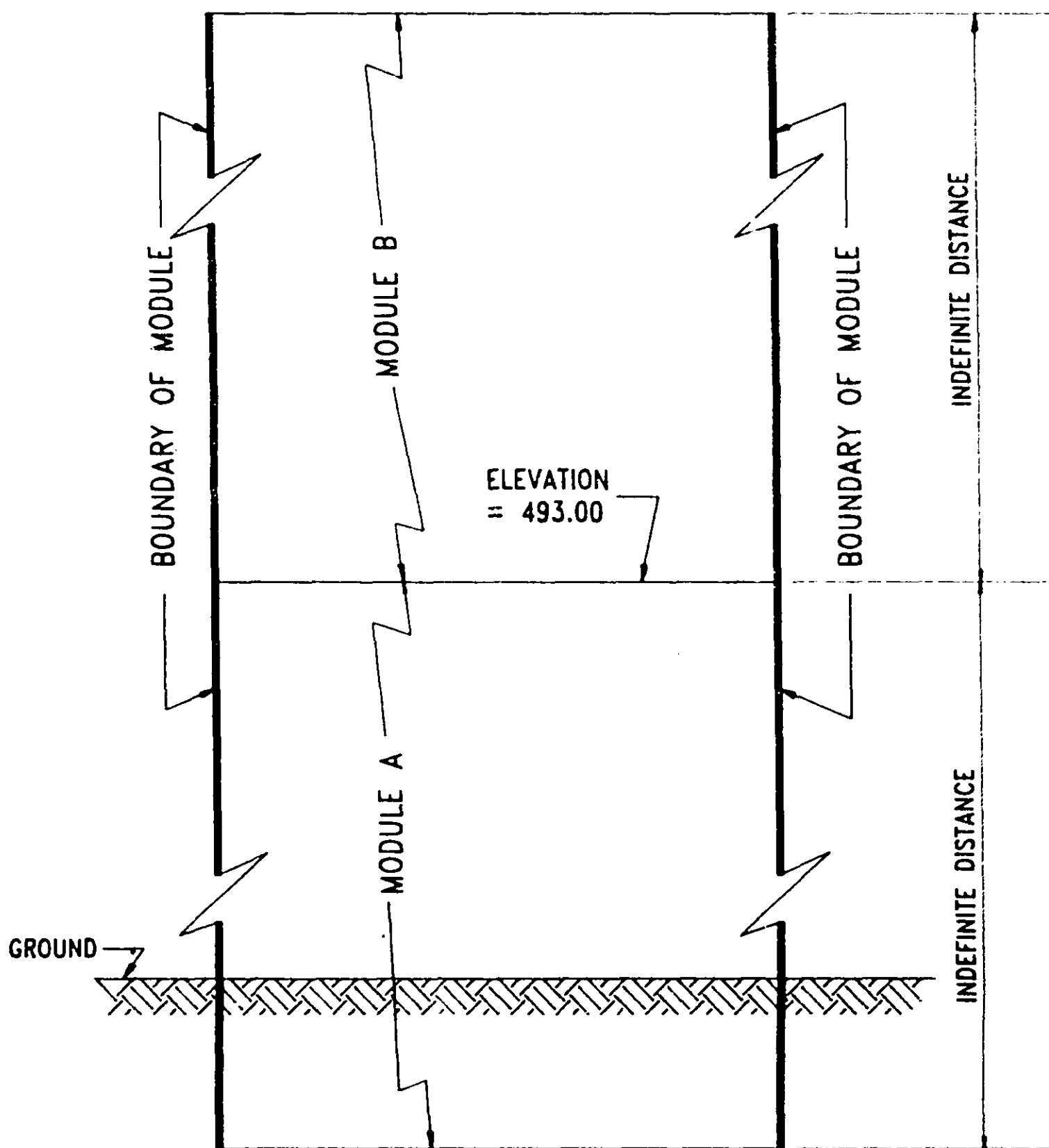
LINE DATA

LINE	DIRECTION	DISTANCE
L7	N89°01'04"E	68.00'
L8 (RAD.)	N00°58'56"W	20.00'
L9	N14°51'43"E	21.52'
L10	N00°54'56"W	12.00'
L11	N01°11'58"W	43.64'
L12	N14°32'56"E	33.51'

CURVE DATA

CURVE	RADIUS	LENGTH	TANGENT	DELTA
C10	20.00'	31.42'	20.00'	90°00'00"
C12	36.00'	9.96'	5.01'	15°50'39"
C13	100.00'	27.54'	13.86'	15°46'39"
C14	228.00'	59.32'	29.83'	14°54'29"
C15	15.00'	9.62'	4.98'	36°44'08"
C16	32.00'	40.46'	23.44'	72°26'47"
C17	15.00'	13.18'	7.05'	50°20'06"
C18	135.00'	37.11'	18.67'	15°44'54"
C19	65.00'	49.36'	25.94'	43°30'34"
C20	65.00'	165.07'	209.37'	145°30'20"
C21	17.00'	20.59'	11.77'	69°23'30"

CONDOMINIUM PLAN TRACT NO. 50779



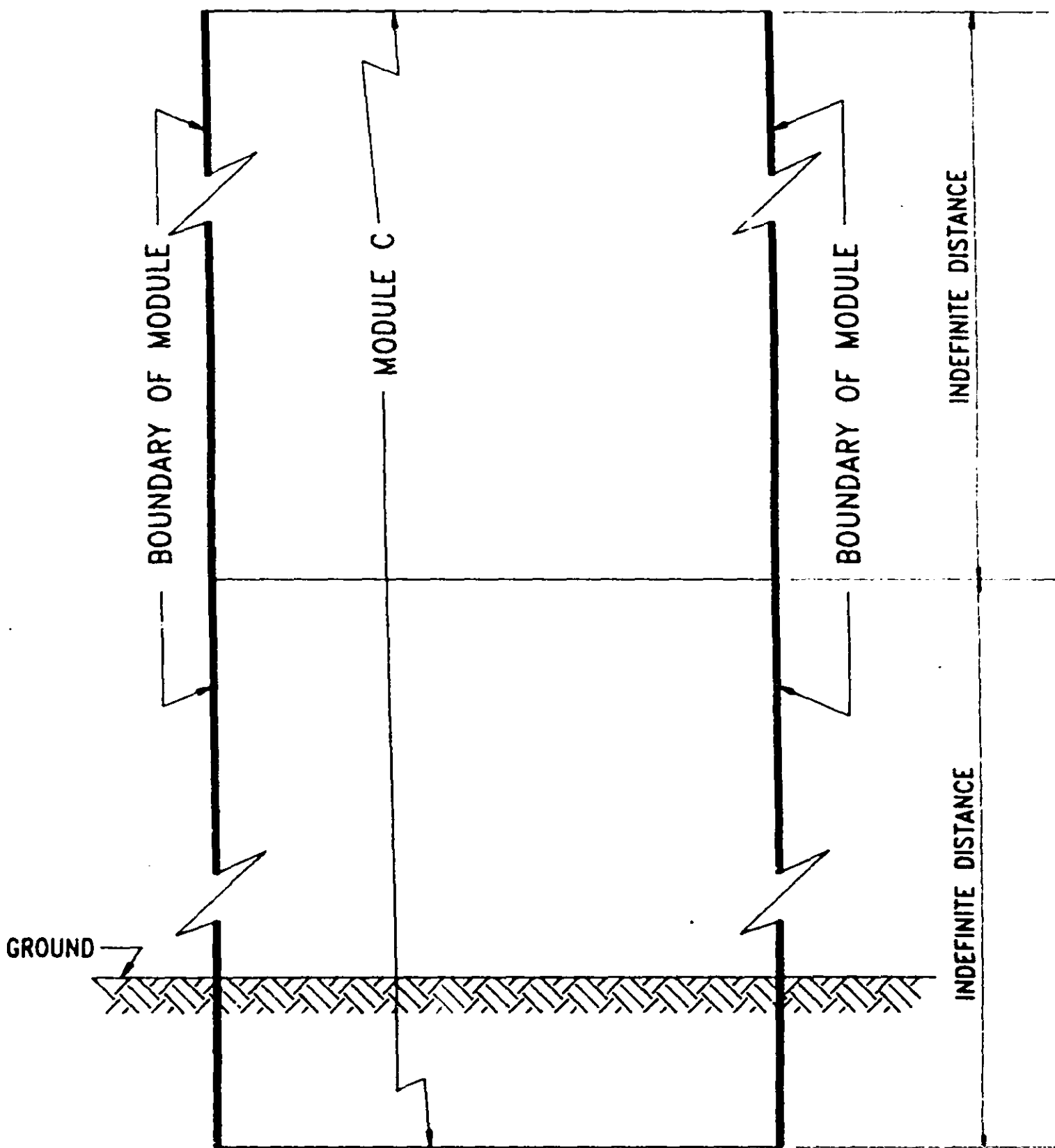
SIDE VIEW OF MODULES

A AND B

NO SCALE

96 296191

CONDOMINIUM PLAN
TRACT NO. 50779

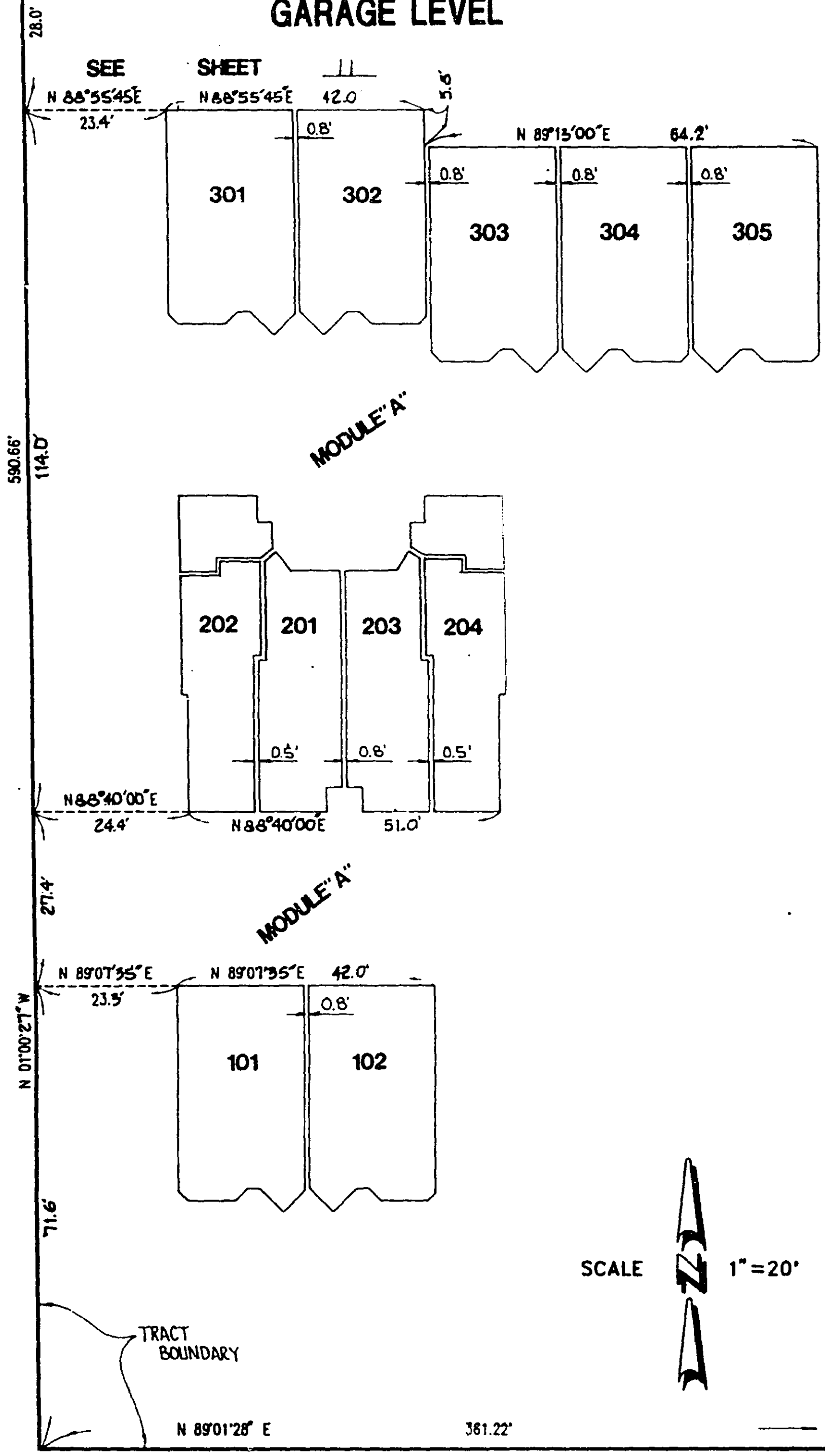


SIDE VIEW OF MODULE C

NO SCALE

96 296191

CONDOMINIUM PLAN TRACT NO. 50779 GARAGE LEVEL



BALDWIN₉₆ 296191 STREET

CONDOMINIUM PLAN TRACT NO. 50779 GARAGE LEVEL



N 01°00'27" W

590.66'

28.0'

N 89°06'15" E
25.0'

51.0'

402

0.5'

401

0.8'

403

0.5'

404

N 89°06'15" E

26.7'

6.1'

502

0.5'

501

0.8'

503

0.5'

504

N 89°15'20" E

51.0'

MODULE "A"

MODULE "A"

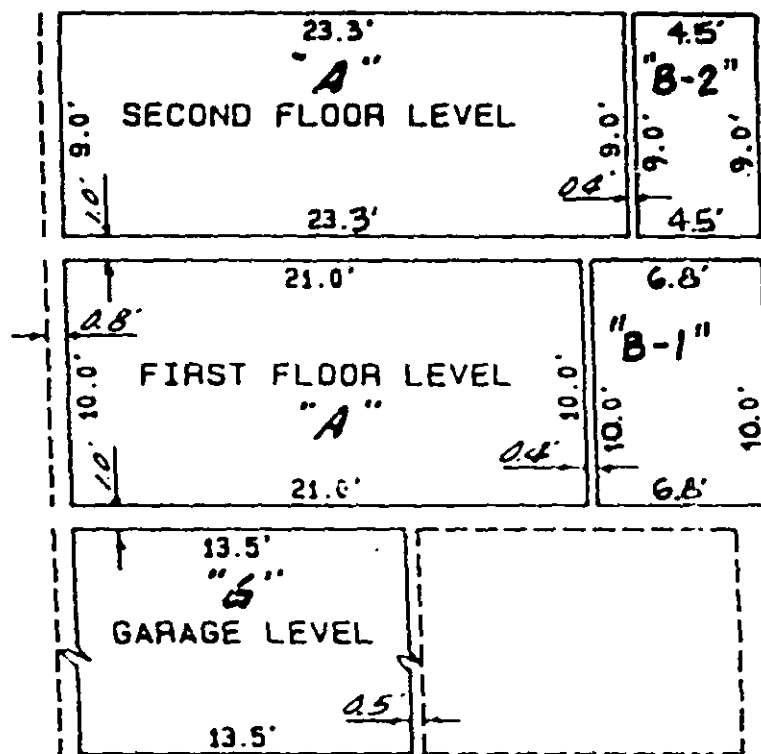
TRACT BOUNDARY

SEE SHEET 10

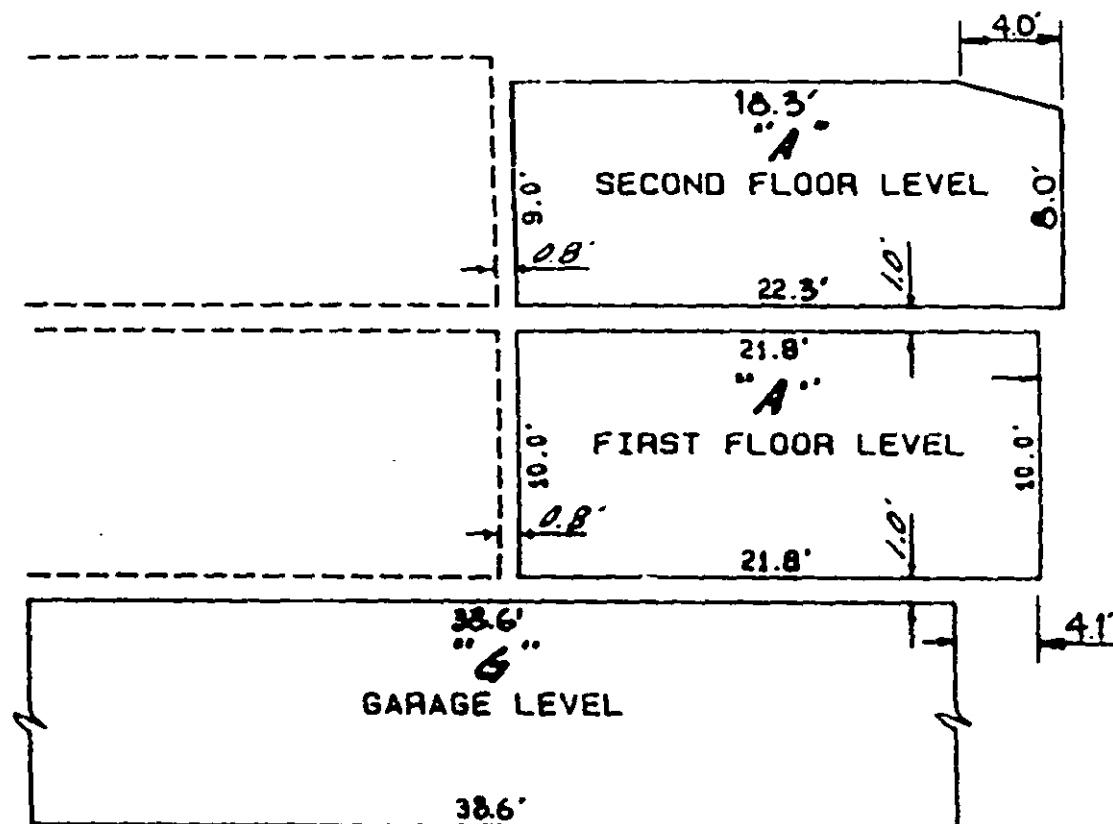
SECTION VIEWS

NOTE:

1. SEE SHEET 12 FOR PLAN VIEWS
2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT.
4. --- = ADJACENT UNIT (TYPICAL).



SECTION V-V

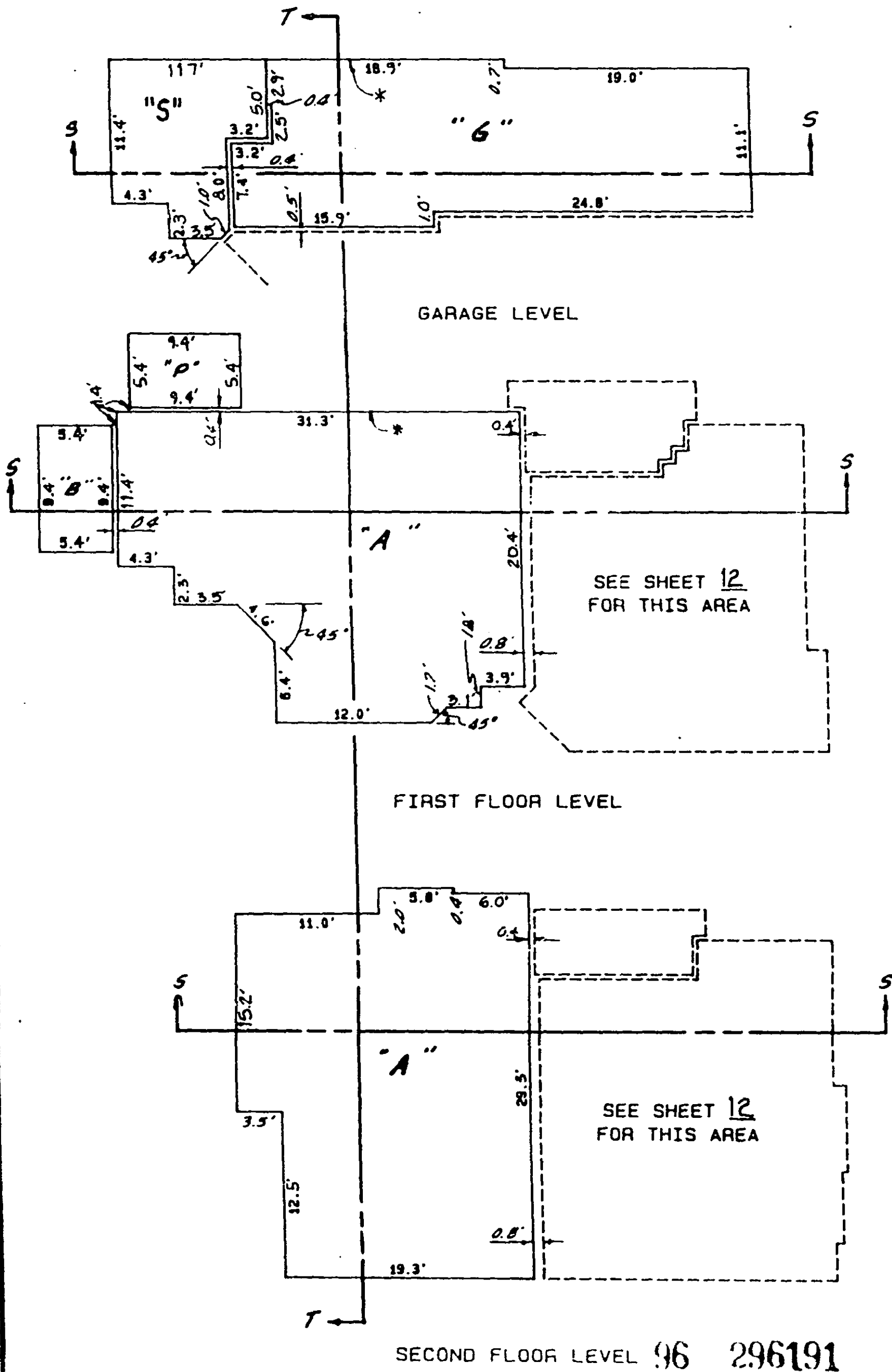


SECTION U-U

DIAGRAMMATIC FLOOR PLAN

NOTE:

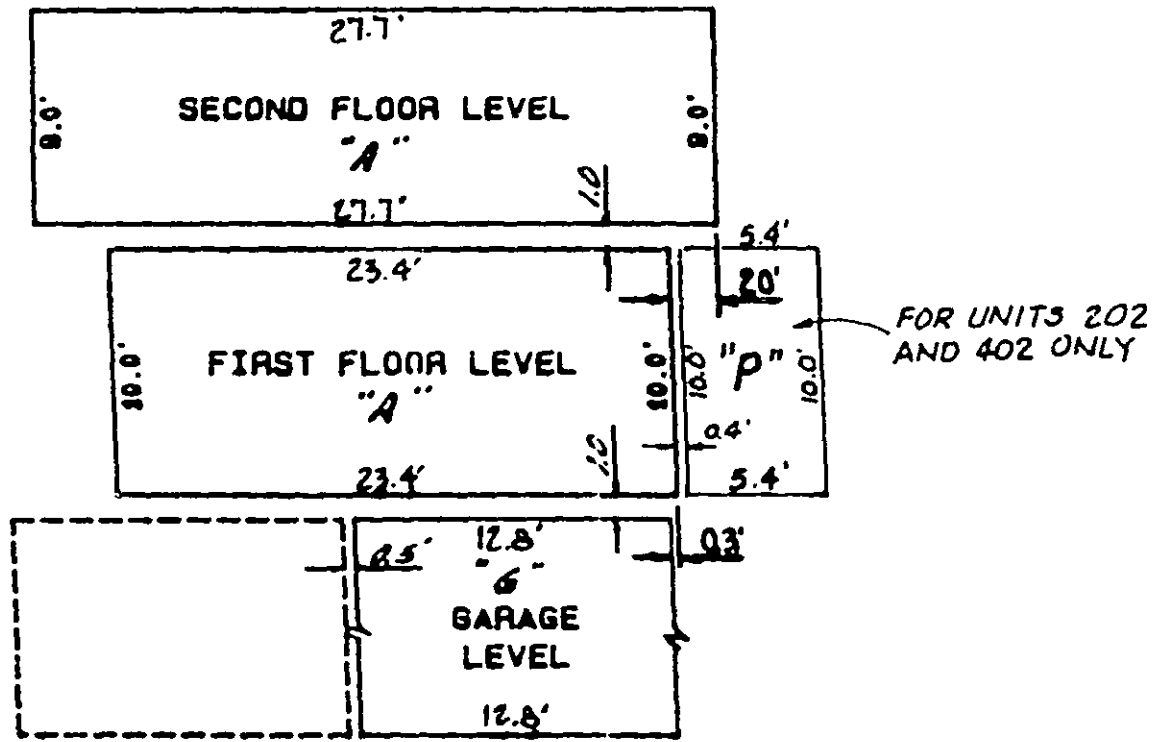
- 1. TYPICAL PLAN FOR UNITS: 504
- 2. TYPICAL PLAN REVERSED FOR UNITS:
- 3. SEE SHEET 17 FOR SECTION VIEWS.
- 4. * = COMMON WALL WITH ABOVE OR BELOW.
- 5. --- = ADJACENT UNIT (TYPICAL)



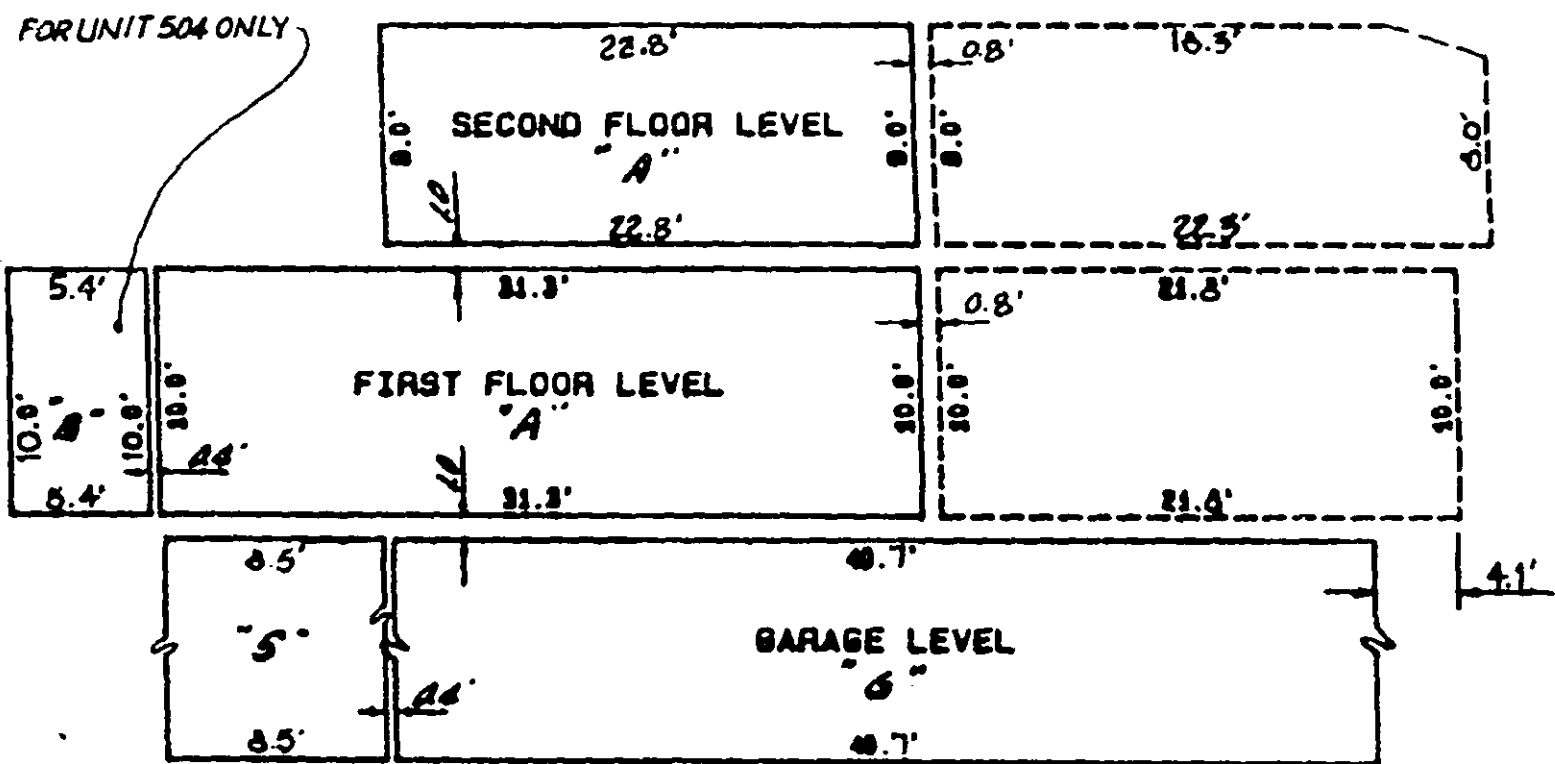
SECTION VIEWS

NOTE:

- 1. SEE SHEETS 14 THRU 16 FOR PLAN VIEWS
- 2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
- 3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT.
- 4. --- = ADJACENT UNIT (TYPICAL).



SECTION T-T

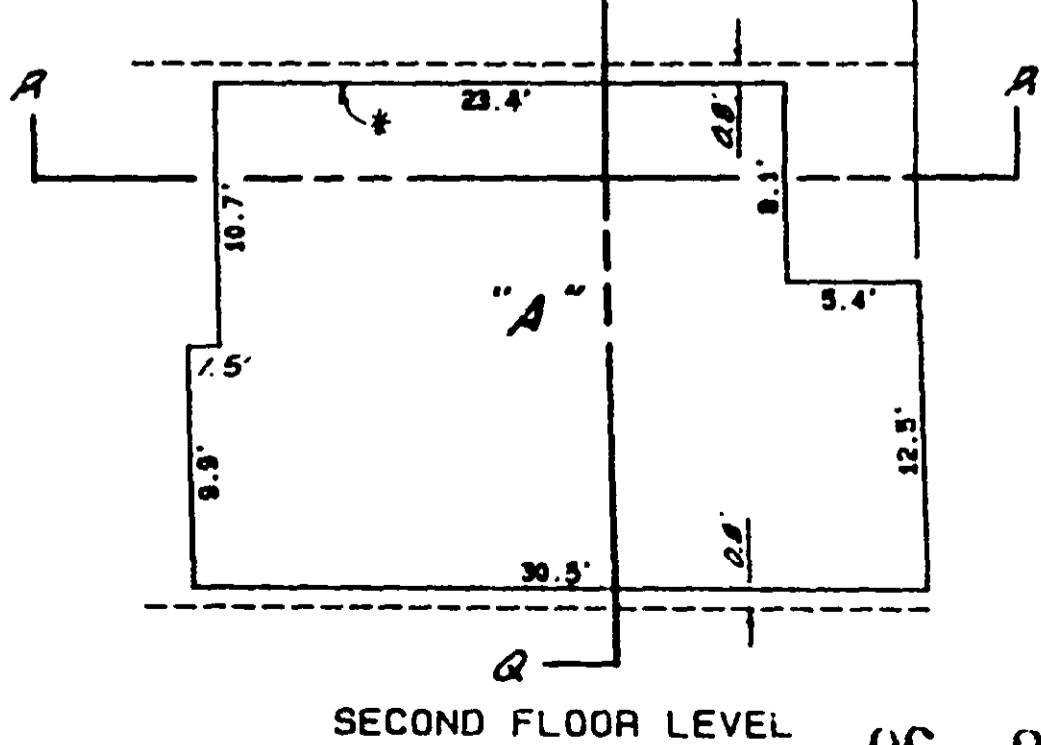
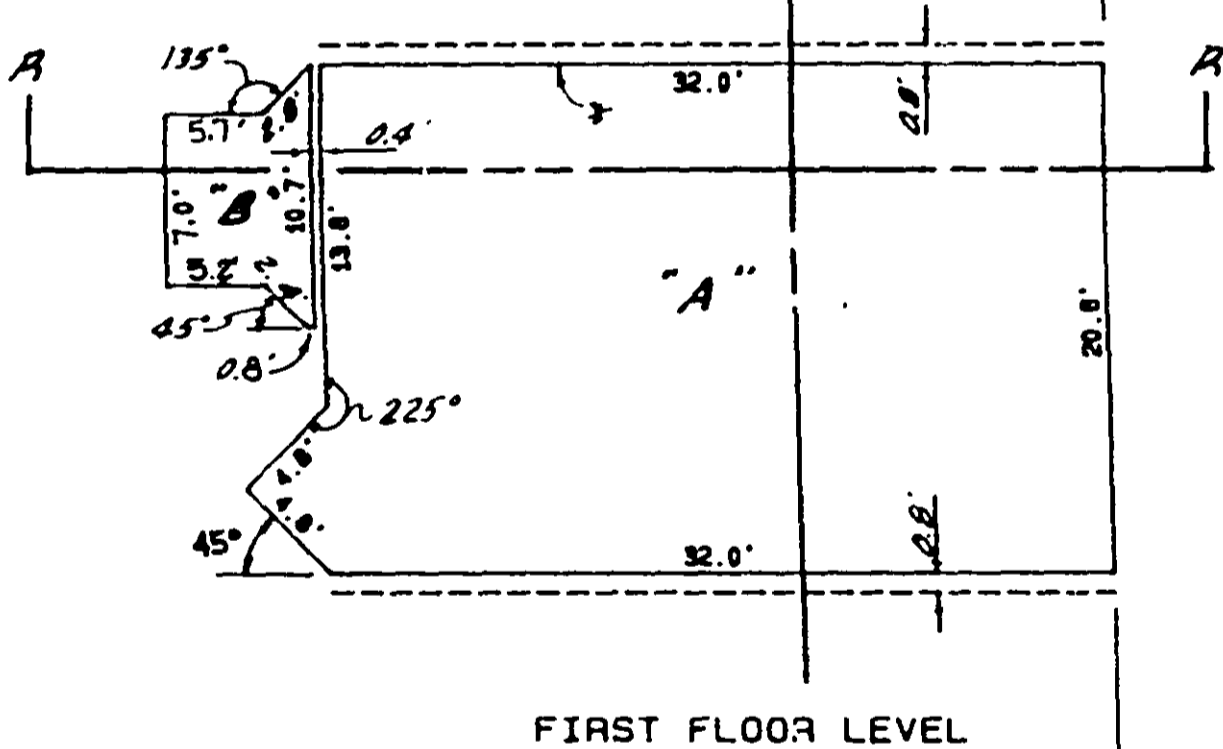
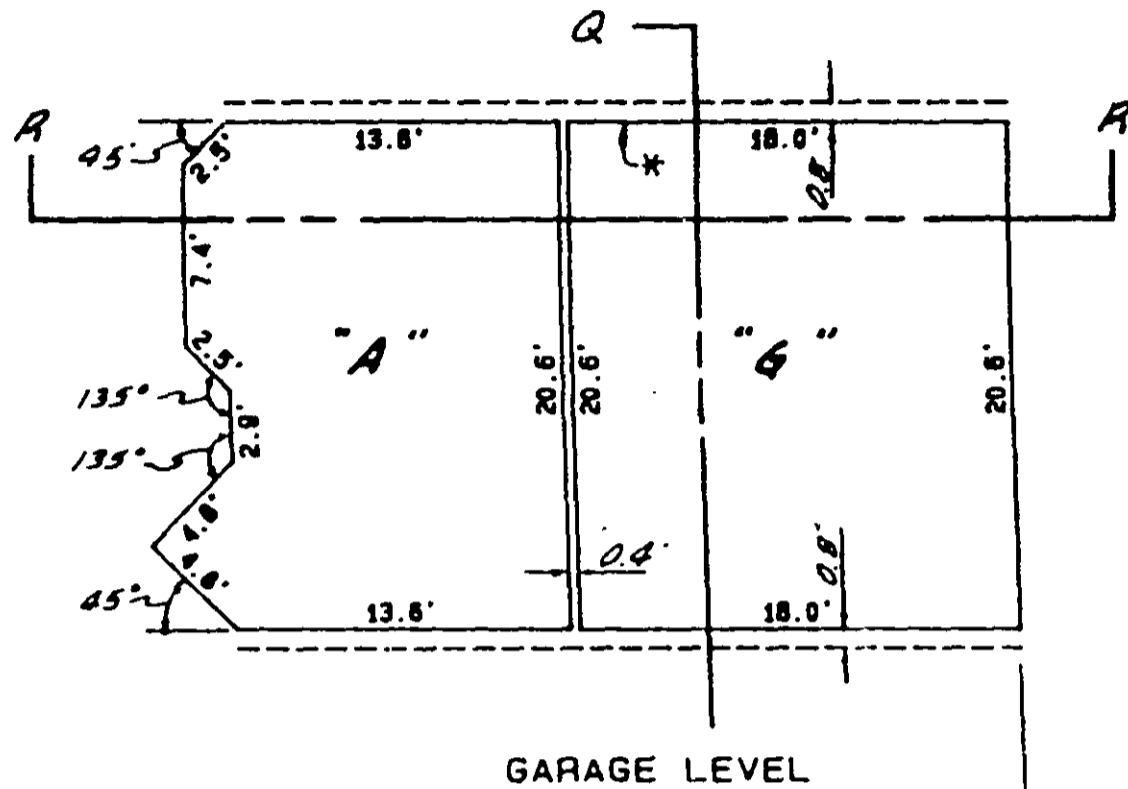


SECTION S-S

DIAGRAMMATIC FLOOR PLAN

NOTE:

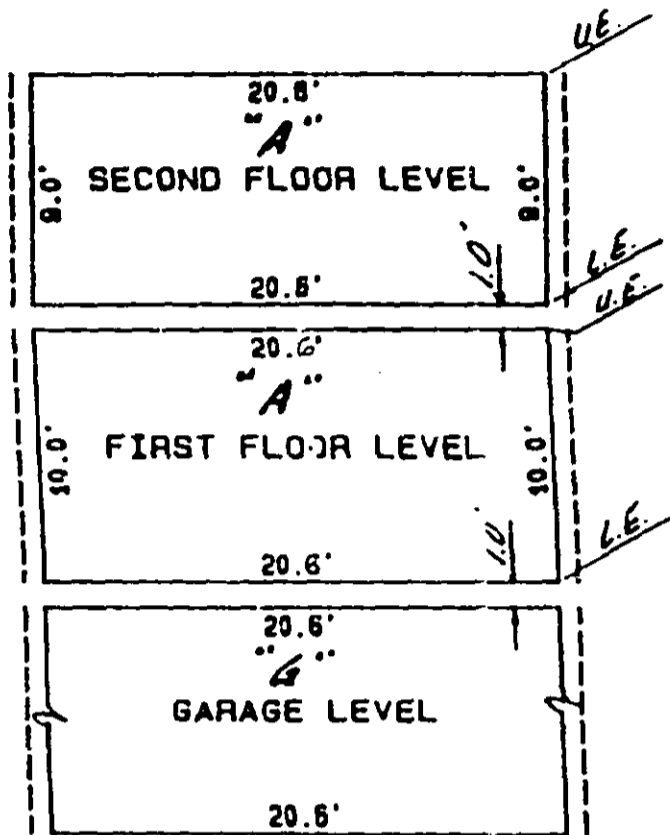
- 1. TYPICAL PLAN FOR UNITS: 303.
- 2. TYPICAL PLAN REVERSED FOR UNITS: 302, 304, 305.
- 3. SEE SHEET 19 FOR SECTION VIEWS.
- 4. * = COMMON WALL WITH ABOVE OR BELOW.
- 5. --- = ADJACENT UNIT (TYPICAL)



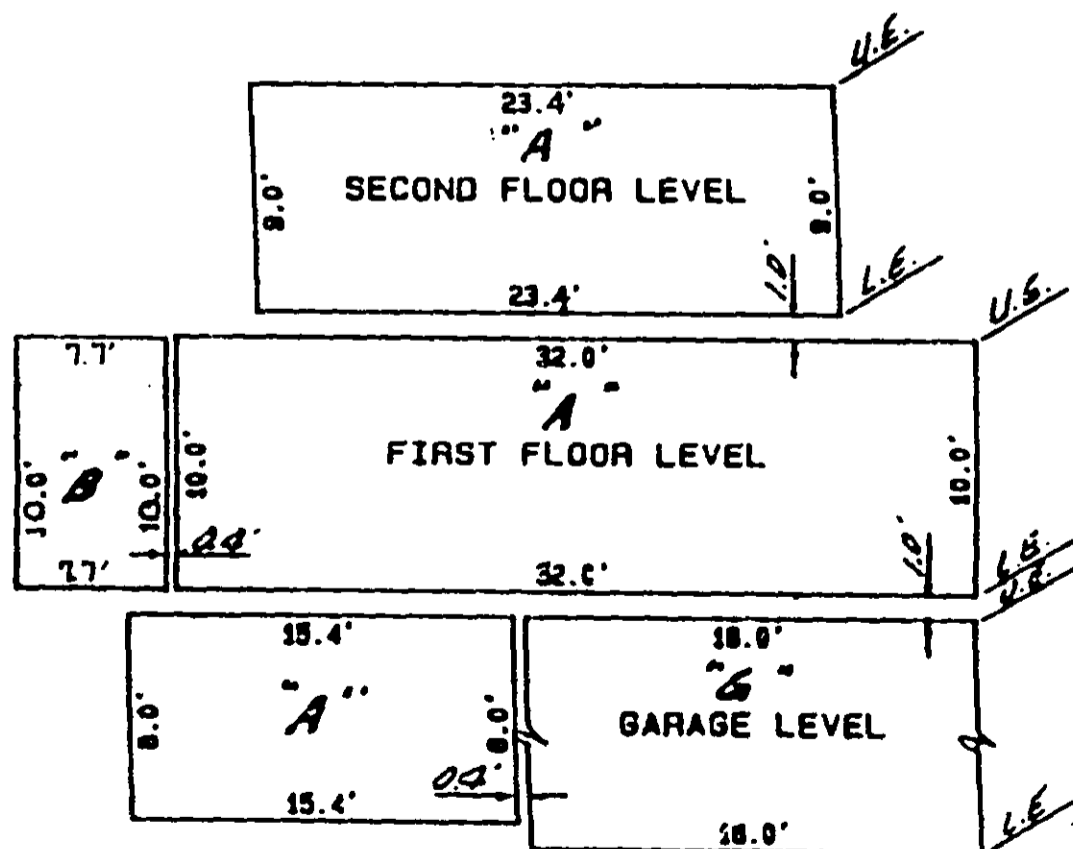
SECTION VIEWS

NOTE:

1. SEE SHEET 18 FOR PLAN VIEWS
2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT.
4. --- = ADJACENT UNIT (TYPICAL).



SECTION Q-Q

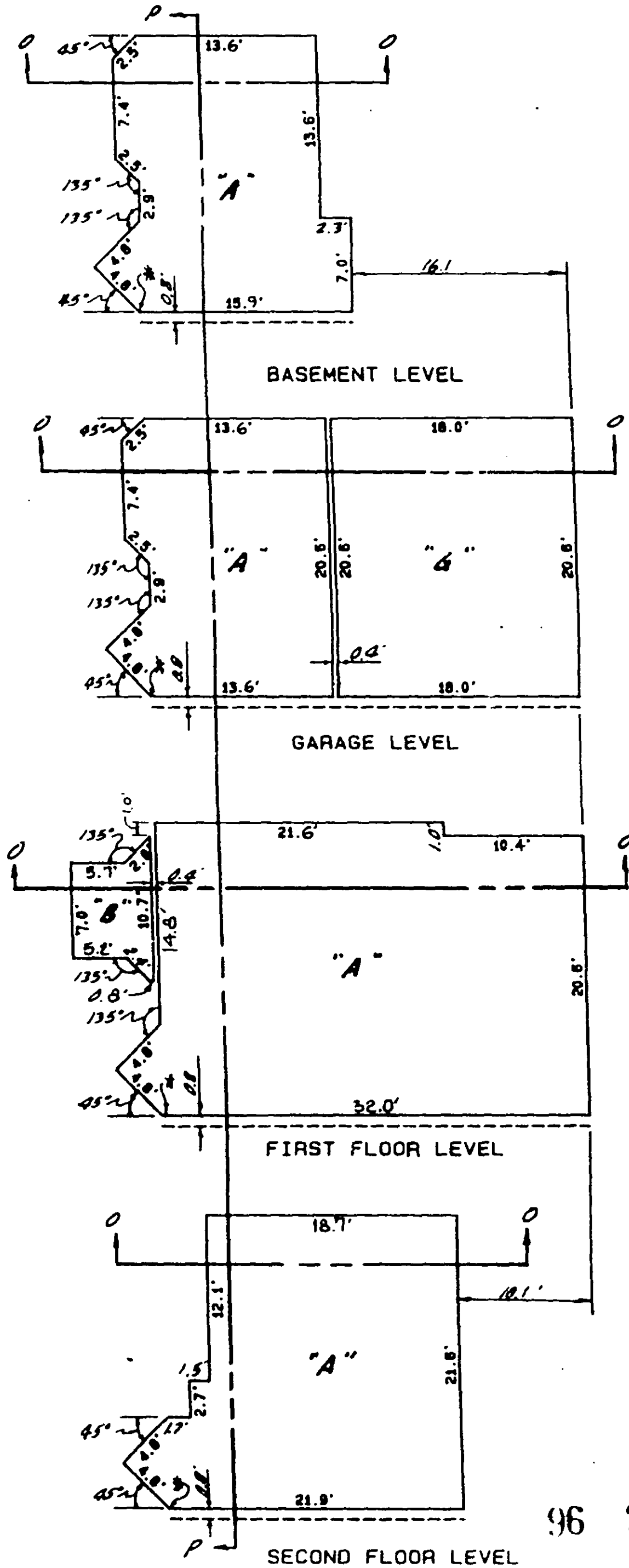


SECTION R-R

DIAGRAMMATIC FLOOR PLAN

NOTE:

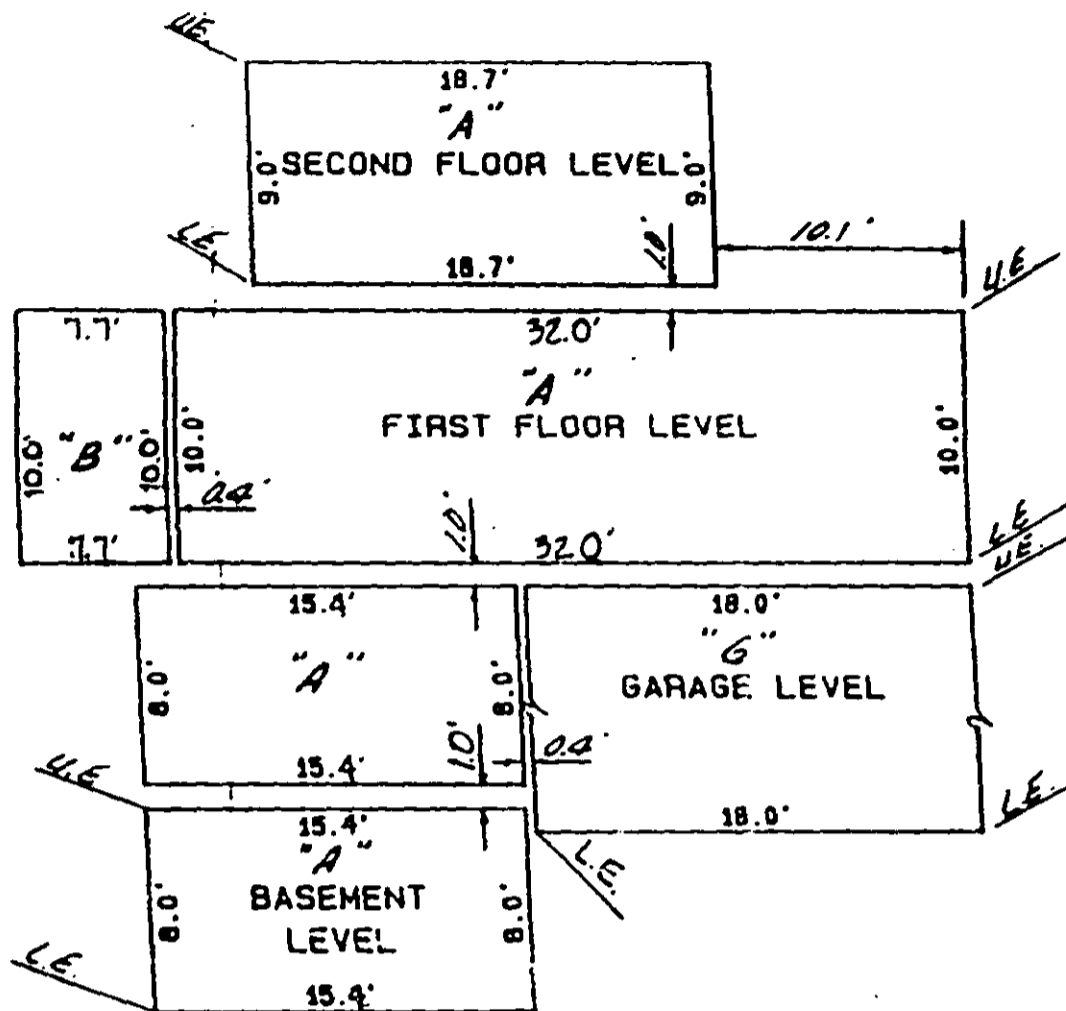
- 1. TYPICAL PLAN FOR UNITS: 301.
- 2. TYPICAL PLAN REVERSED FOR UNITS:
- 3. SEE SHEET 21 FOR SECTION VIEWS.
- 4. * = COMMON CORNER WITH ABOVE OR BELOW.
- 5. --- = ADJACENT UNIT (TYPICAL)



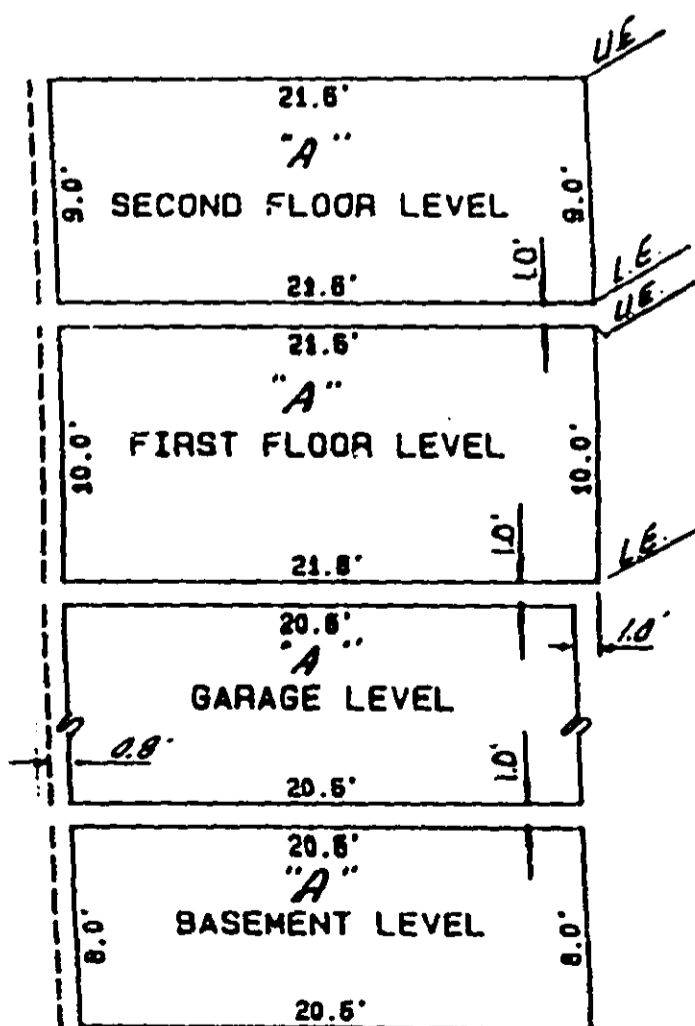
SECTION VIEWS

NOTE:

1. SEE SHEET 20 FOR PLAN VIEWS
2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT.
4. --- = ADJACENT UNIT (TYPICAL)



SECTION 0-0

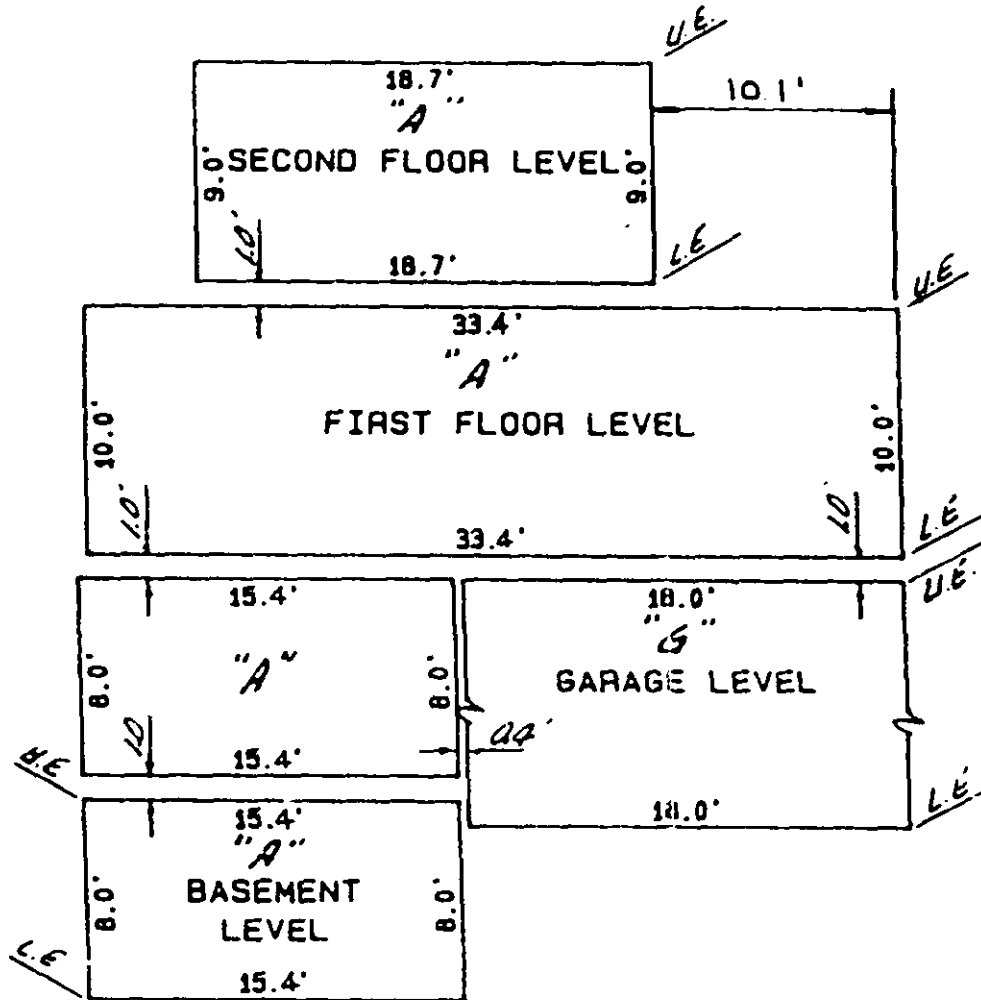


SECTION P-P

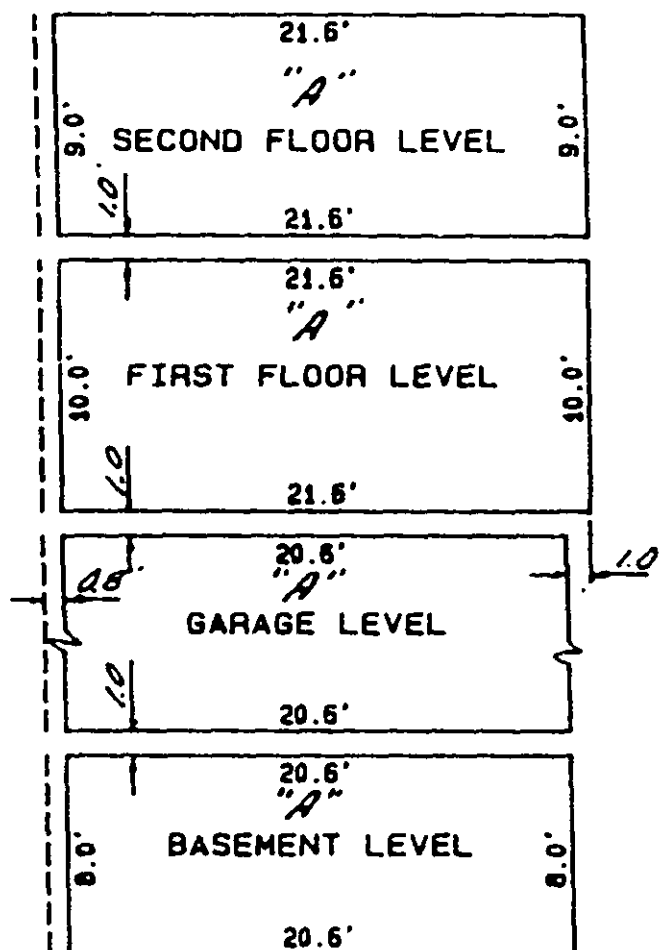
SECTION VIEWS

NOTE:

1. SEE SHEET 22 FOR PLAN VIEWS
2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT.
4. --- = ADJACENT UNIT (TYPICAL).



SECTION M-M



SECTION N-N

SCHEDULE OF VERTICAL ELEVATION

Sheet 24 of 24 Sheets

NOTE:
 1. LE = Lower Elevation
 2. NA = Not Applicable

3. UE = Upper Elevation
 4. All elevations are to finished surface

UNIT #	BLDG TYPE	BASEMENT LEVEL		GARAGE LEVEL		1ST FLOOR LEVEL		2ND FLOOR LEVEL	
		LE	UE	LE	UE	LE	UE	LE	UE
101	F	383.7	391.7	391.0	400.7	401.7	411.7	412.7	421.7
102	F	383.7	391.7	391.5	400.7	401.7	411.7	412.7	421.7
201	C	NA	NA	391.0	400.2	401.2	411.2	412.2	421.2
202	D	NA	NA	390.8	400.2	401.2	411.2	412.2	421.2
203	C	NA	NA	391.4	400.2	401.2	411.2	412.2	421.2
204	D	NA	NA	392.0	400.2	401.2	411.2	412.2	421.2
301	F	400.5	408.5	408.9	417.5	418.5	428.5	429.5	438.5
302	E	NA	NA	408.3	417.5	418.5	428.5	429.5	438.5
303	E	NA	NA	409.2	419.4	420.4	430.4	431.4	440.4
304	E	NA	NA	410.4	419.4	420.4	430.4	431.4	440.4
305	E	NA	NA	411.5	419.4	420.4	430.4	431.4	440.4
401	C	NA	NA	407.4	417.2	418.2	428.2	429.2	438.2
402	D	NA	NA	406.8	417.2	418.2	428.2	429.2	438.2
403	C	NA	NA	408.3	417.2	418.2	428.2	429.2	438.2
404	D	NA	NA	408.9	417.2	418.2	428.2	429.2	438.2
501	C	NA	NA	411.1	421.1	422.1	432.1	433.1	442.1
502	D	NA	NA	410.5	421.1	422.1	432.1	433.1	442.1
503	C	NA	NA	412.1	421.1	422.1	432.1	433.1	442.1
504	D	NA	NA	412.6	421.1	422.1	432.1	433.1	442.1