

RECORDING REQUEST BY

96 1789216

WHEN RECORDED MAIL TO
NAME Westport Eng. INC.
MAILING ADDRESS 6355 TOFANGA CANYON
CITY, STATE ZIP CODE Woodland Hills, CA

RECORDED/FILED IN OFFICIAL RECORDS
RECORDER'S OFFICE
LOS ANGELES COUNTY
CALIFORNIA
4:21 PM NOV 04 1996

SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE

TITLE(S)

FEE \$ 82⁰⁰ X ²⁶

D.A. FEE Code 20 \$ 2⁰⁰
NCPF Code 19 \$ 78⁰⁰

Amended & Restated Condominium Plan

RECORDING REQUESTED BY:
NORTH AMERICAN TITLE CO.

WHEN RECORDED MAIL TO:

WESTPORT ENGINEERING INC.
6355 TOPANGA CANYON BLVD. #333
WOODLAND HILLS, CA 91367

SHEET 1 OF 25 SHEETS

**AMENDED AND RESTATED
CONDOMINIUM PLAN**

PHASE I

LEGAL DESCRIPTION:

LOT 1 OF TRACT NO. 50779, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES STATE OF CALIFORNIA PER MAP FILED IN BOOK 1202 PAGES 3 AND 4 OF MAPS, RECORDS OF LOS ANGELES COUNTY.

OWNERS STATEMENT:

WE THE UNDERSIGNED, BEING THE RECORD OWNERS OF THE LAND INCLUDED WITHIN THIS PROJECT AND THE RECORD HOLDERS OF SECURITY INTERESTS HEREIN, HEREBY CONSENT TO THE REVOCATION OF THAT CERTAIN CONDOMINIUM PLAN RECORDED DECEMBER 22, 1993 AS INSTRUMENT NO. 93-2370004 O.R., AND HEREBY CONSENT TO THE RECORDING OF THIS PLAN PURSUANT TO THE PROVISIONS OF CHAPTER 1 TITLE 6, PART 4, DIVISION SECOND OF THE CALIFORNIA CIVIL CODE. A DIAGRAMMATIC FLOOR PLAN OF THE BUILDING, BUILT ON SAID LAND AND CERTIFICATE AS REQUIRED UNDER CALIFORNIA CIVIL SECTION 1351.

**CITY VIEW TERRACES,
A California Limited Partnership**

BY: TELECU AFFORDABLE HOUSING, INC.,
A California Corporation (Partner), Owner

BY: David C. Lizarraga
BY: _____

THE EAST LOS ANGELES COMMUNITY UNION,
A California Non-Profit Corporation, (Partner)

BY: David C. Lizarraga
David C. Lizarraga, President & CEO

**STATE OF CALIFORNIA
COUNTY OF LOS ANGELES }SS**

ON 2/28, 1996, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED David C. Lizarraga AND _____ PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THEIR AUTHORIZED CAPACITIES, AND THAT BY THEIR SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.

**STATE OF CALIFORNIA
COUNTY OF LOS ANGELES }SS**

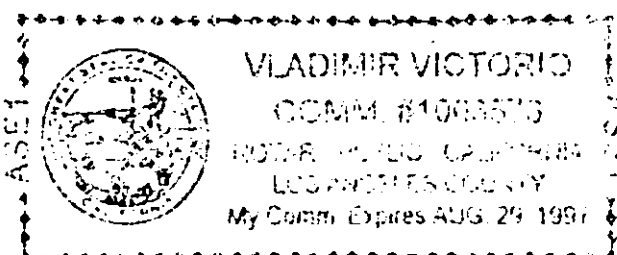
ON _____, 1996, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED _____ AND _____ PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THEIR AUTHORIZED CAPACITIES, AND THAT BY THEIR SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL.

96 1789216

[Signature]
NOTARY PUBLIC

NAME Vladimir Victorio
COUNTY OF LOS ANGELES
MY COMMISSION EXPIRES: 8/29/97



32-80202-03

AMENDED AND RESTATED
CONDOMINIUM PLAN

PHASE I

LEGAL DESCRIPTION:

LOT 1 OF TRACT NO. 50779, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES STATE OF CALIFORNIA PER MAP FILED IN BOOK 1202 PAGE 3 AND 4 OF MAPS, RECORDS OF LOS ANGELES COUNTY.

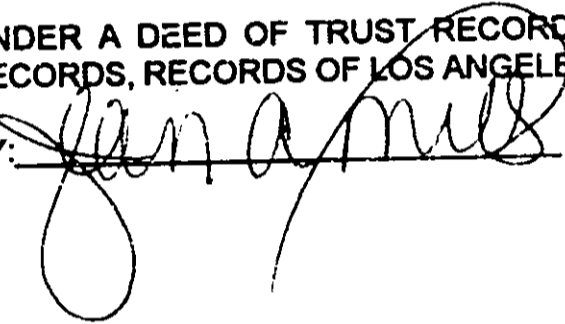
OWNERS STATEMENT:

WE THE UNDERSIGNED, BEING THE RECORD OWNERS OF THE LAND INCLUDED WITHIN THIS PROJECT AND THE RECORD HOLDERS OF SECURITY INTERESTS HEREIN, ³ HEREBY CONSENT TO THE REVOCATION OF THAT CERTAIN CONDOMINIUM PLAN RECORDED DECEMBER 42, 1993 AS INSTRUMENT NO. 93-2370004 O.R., AND HEREBY CONSENT TO THE RECORDING OF THIS PLAN PURSUANT TO THE PROVISIONS OF CHAPTER 1 TITLE 6, PART 4, DIVISION SECOND OF THE CALIFORNIA CIVIL CODE. A DIAGRAMMATIC FLOOR PLAN OF THE BUILDING, BUILT ON SAID LAND AND CERTIFICATE AS REQUIRED UNDER CALIFORNIA CIVIL SECTION 1351.

WELLS FARGO BANK, NATIONAL ASSOCIATION, successor by merger to
FIRST INTERSTATE BANK OF CALIFORNIA,
A CALIFORNIA CORPORATION, (BENEFICIARY)

UNDER A DEED OF TRUST RECORDED DECEMBER 17, 1992 AS INSTRUMENT NO. 92-2369049, OF OFFICIAL RECORDS, RECORDS OF LOS ANGELES COUNTY.

BY:

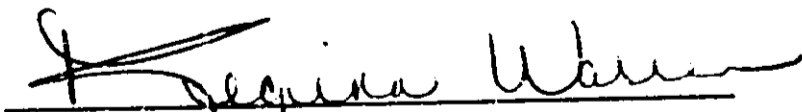


STATE OF CALIFORNIA
COUNTY OF LOS ANGELES }SS

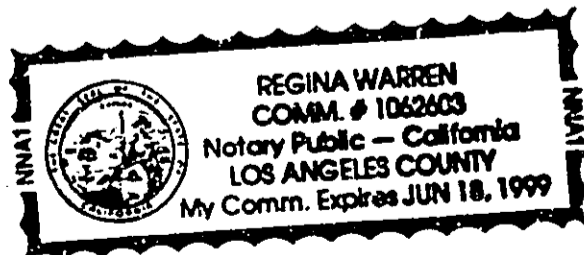
ON October 7, 1996, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED Jean A. Mills AND _____ PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THEIR AUTHORIZED CAPACITIES, AND THAT BY THEIR SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.

96 1789216

WITNESS MY HAND AND OFFICIAL SEAL.


NOTARY PUBLIC

NAME Regina Warren
COUNTY OF LOS ANGELES
MY COMMISSION EXPIRES: 6-18-99



**AMENDED AND RESTATED
CONDOMINIUM PLAN**

PHASE I

LEGAL DESCRIPTION:

LOT 1 OF TRACT NO. 50779, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES STATE OF CALIFORNIA PER MAP FILED IN BOOK 1202 PAGE 3 AND 4 OF MAPS, RECORDS OF LOS ANGELES COUNTY.

OWNERS STATEMENT:

12/3/93 *[Signature]*
WE THE UNDERSIGNED, BEING THE RECORD OWNERS OF THE LAND INCLUDED WITHIN THIS PROJECT AND THE RECORD HOLDERS OF SECURITY INTERESTS HEREIN, HEREBY CONSENT TO THE REVOCATION OF THAT CERTAIN CONDOMINIUM PLAN RECORDED DECEMBER 12, 1993 AS INSTRUMENT NO. 93-2370004 O.R., AND HEREBY CONSENT TO THE RECORDING OF THIS PLAN PURSUANT TO THE PROVISIONS OF CHAPTER 1 TITLE 6, PART 4, DIVISION SECOND OF THE CALIFORNIA CIVIL CODE. A DIAGRAMMATIC FLOOR PLAN OF THE BUILDING, BUILT ON SAID LAND AND CERTIFICATE AS REQUIRED UNDER CALIFORNIA CIVIL SECTION 1351.

CENTURY HOUSING CORPORATION,

A CALIFORNIA NON-PROFIT CORPORATION, SUCCESSOR-IN-INTEREST TO THE STATE OF CALIFORNIA DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT, BENEFICIARY, UNDER DEED OF TRUST RECORDED DECEMBER 17, 1992 AS INSTRUMENT NO. 92-2369050, OF OFFICIAL RECORDS.

BY: *[Signature]*

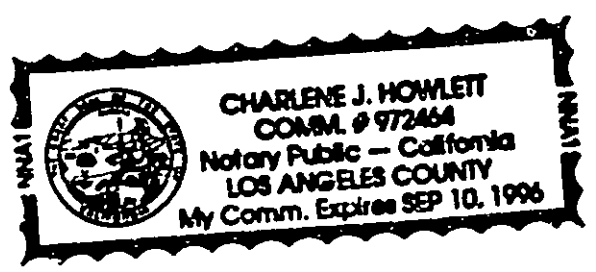
**STATE OF CALIFORNIA
COUNTY OF LOS ANGELES }SS**

ON MARCH 19, 1996, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED G. ALLAN KINGSTON AND [Signature] WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THEIR AUTHORIZED CAPACITIES, AND THAT BY THEIR SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
NOTARY PUBLIC

NAME Charlene J. Howlett
COUNTY OF LOS ANGELES
MY COMMISSION EXPIRES: 9/10/96



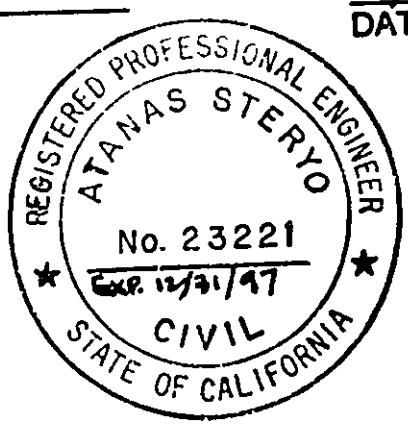
96 1789216

ENGINEER'S STATEMENT:

I HEREBY STATE THAT I AM A REGISTERED CIVIL ENGINEER OF THE STATE OF CALIFORNIA, THAT THIS PLAN CONSISTING OF 25 SHEETS CORRECTLY REPRESENTS A TRUE AND COMPLETE SURVEY OF THIS PROJECT MADE UNDER MY SUPERVISION ON AUGUST 24, 1995 AND THE LOCATION OF BUILDINGS AND AIRSPACE AS BUILT.

[Signature]
ATANAS STERYO R.C.E. 23221
MY REGISTRATION EXPIRES 12/31/97

10/23/96
DATE



NOTES AND DEFINITIONS

1. This condominium project is composed of Association Property, Common Area, and 30 Units.
2. The Association Property of this project is the land and real property, including all improvements constructed thereon, within Module "A" described herein, and located within the boundary lines of Lot 1 of Tract No. 50779 in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in Book 1202, Pages 3 and 4 of Maps, in the office of the County Recorder of said County, except therefrom those portions shown and defined herein as Units.
3. Module "A" as designated on this plan is a three dimensional air space, the lateral boundaries of which are vertical planes at the limits of the boundaries thereof as delineated herein. The upper vertical boundary of Module "A" shall be an elevation of 493.0 Feet. The lower vertical boundary of Module "A" shall extend indefinitely downward.

Module "B" as designated on this plan is a three dimensional air space, the lateral boundaries of which are vertical planes at the limits of the boundaries thereof as delineated herein. The lower vertical boundary of Module "B" shall be an elevation of 493.0 Feet. The upper vertical boundary of Module "B" shall extend indefinitely upward.

The common area, units, and the association property of module "C" will be shown and defined in a separate and distinct condominium plan, or plans applicable only to modules "C", (which condominium plan, or plans, is not part of, and shall not constitute and amendment to, the within condominium plan).

Common area shall mean Module "B" as shown on this plan and defined hereinabove.

4. The following are not part of a unit: bearing walls, columns, vertical supports, floors, roofs, foundations, beams, balcony railings, pipes, ducts, flues, chutes, conduits, wires, and other utility installations, wherever located, except the outlets thereof when located within the unit, and except any surface noted therein as forming a part of an element of a unit.
5. The units of this project are numbered 1501 through 1504; 1601 through 1604; 1701 through 1705; 1801 through 1812; and 1901 through 1905, all inclusive. A unit consists of all those elements bearing an identical number designation. The number designation of an element coincides with the number of that unit of which it is a part. Whenever reference is made to any of said units, it shall be construed that reference is made to the unit as a whole and to each and all of its component elements.
6. This plan and the dimensions shown hereon are intended to conform to Civil Code Section 351 which requires diagrammatic floor plans of the building built or to be built thereon in sufficient detail to identify each unit, its relative location and approximate dimensions. The dimensions shown hereon are not intended to be sufficiently accurate to use for computation of floor area or airspace volume in any and all of the units.
7. These diagrammatic plans intentionally omit detailed information of internal partitioning within individual units. Likewise, such details as protrusions of vents, beams, columns, window casings, lowered ceilings, and other such features are not intended to be reflected on this plan.
8. Each of those areas shown on this plan bearing the letter designation "A" is an element of a unit consisting of a dwelling area. The lateral boundaries of each such element are the interior surfaces of the perimeter walls, windows, and doors thereof at the limits indicated on the respective portions thereof. The lower vertical boundary of each such element is the interior surface of the floor thereof at the elevation as shown on the plan herein. The upper vertical boundary is the interior surface of the ceiling thereof at the elevation as shown on the plan herein. Each such element includes the respective portions of the building and improvements lying within said boundaries (except as stated in Note 4 above), the airspace so encompassed, and the surfaces so described.
9. Each of those areas shown on this plan bearing the letter designation "G" is an element of a unit consisting of a garage area (G). The lateral and vertical boundaries of each such element are the exterior surfaces of the perimeter walls, windows and doors of the adjacent building structure, where such surfaces adjoin such element, and the interior surfaces of the perimeter walls, floors and ceilings of each such element where such surfaces exist. Otherwise, the lateral and vertical boundaries of each such element are vertical and horizontal planes at the dimensions and elevations shown hereon for each such element. Each such element includes only the airspace encompassed by said boundaries (except as stated in Note 4 above).
10. Each of those areas shown on this plan bearing the letter designation "S" is an element of a unit consisting of a storage area (S). The lateral and vertical boundaries of each such element are the exterior surfaces of the perimeter walls, windows and doors of the adjacent building structure, where such surfaces adjoin such element, and the interior surfaces of the perimeter walls, floors and ceilings of each such element, where such surfaces exist. Otherwise, the lateral and vertical boundaries of each such element are vertical and horizontal planes at the dimensions and elevations shown hereon for each such element. Each such element includes only the airspace encompassed by said boundaries (except as stated in Note 4 above).

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11. Exclusive use area shall mean and refer to that portion of the Association Property which is reserved for the exclusive use of the owners of particular condominium units. The exclusive use Association Property constitutes an exclusive easement appurtenant to its assigned condominium unit, subject to the exclusive uses and purpose set forth herein and in the covenants, conditions, and restrictions. The exclusive use Association Property and the condominium units, the owners of which are entitled to such exclusive use, are identified herein as follows:

"Balconies" are identified with the letter "B", and are hereby assigned to the condominium units to which they are adjacent as delineated herein.

"Patios" are identified with the letter "P", and are hereby assigned to the condominium units to which they are adjacent as delineated herein.

The lateral and vertical boundaries of each such area are the exterior surfaces of the perimeter walls, windows and doors of the adjacent building structure, where such surfaces adjoin such area, and the interior surfaces of the perimeter walls, floors and ceilings of each such area where such surfaces exist. Otherwise, the lateral and vertical boundaries of each such area are vertical and horizontal planes at the dimensions and elevation shown hereon for each such area. Each such area includes only the airspace encompassed by said boundaries (except as stated in Note 4 above).

12. Each parking space designated as "guest parking" shall be reserved for exclusive use of guests or visitors of building residents.
13. The boundary lines of all elements intersect at right angles unless otherwise indicated, and all ties from lot lines are to interior boundaries of buildings unless otherwise indicated.
14. For purpose hereof, "U.E." means upper elevation and "L.E." means lower elevation. "*" means common floor/corner with floor above or below.
15. The vertical limits of all air spaces are horizontal planes having elevations shown as L.E. and U.E. on the respective portions thereof, except those portions having inclined planes on the respective portion thereof.
16. All horizontal distances between all adjoining units is 0.8' unless otherwise noted on sheets 10 thru 24.

LEGEND

| | |
|--------|---|
| ---- | INDICATES PROJECT BOUNDARY |
| 1501 G | INDICATES UNIT 1501 GARAGE |
| 1804 P | INDICATES UNIT 1804 PATIO |
| U.E. | INDICATES UPPER ELEVATIONS |
| L.E. | INDICATES LOWER ELEVATIONS |
| * | INDICATES COMMON CORNER WITH ABOVE OR BELOW |

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED ON THE BEARING NORTH 89°01'28" EAST OF THE CENTERLINE OF BALDWIN STREET AS SHOWN ON SAID TRACT NO. 50779.

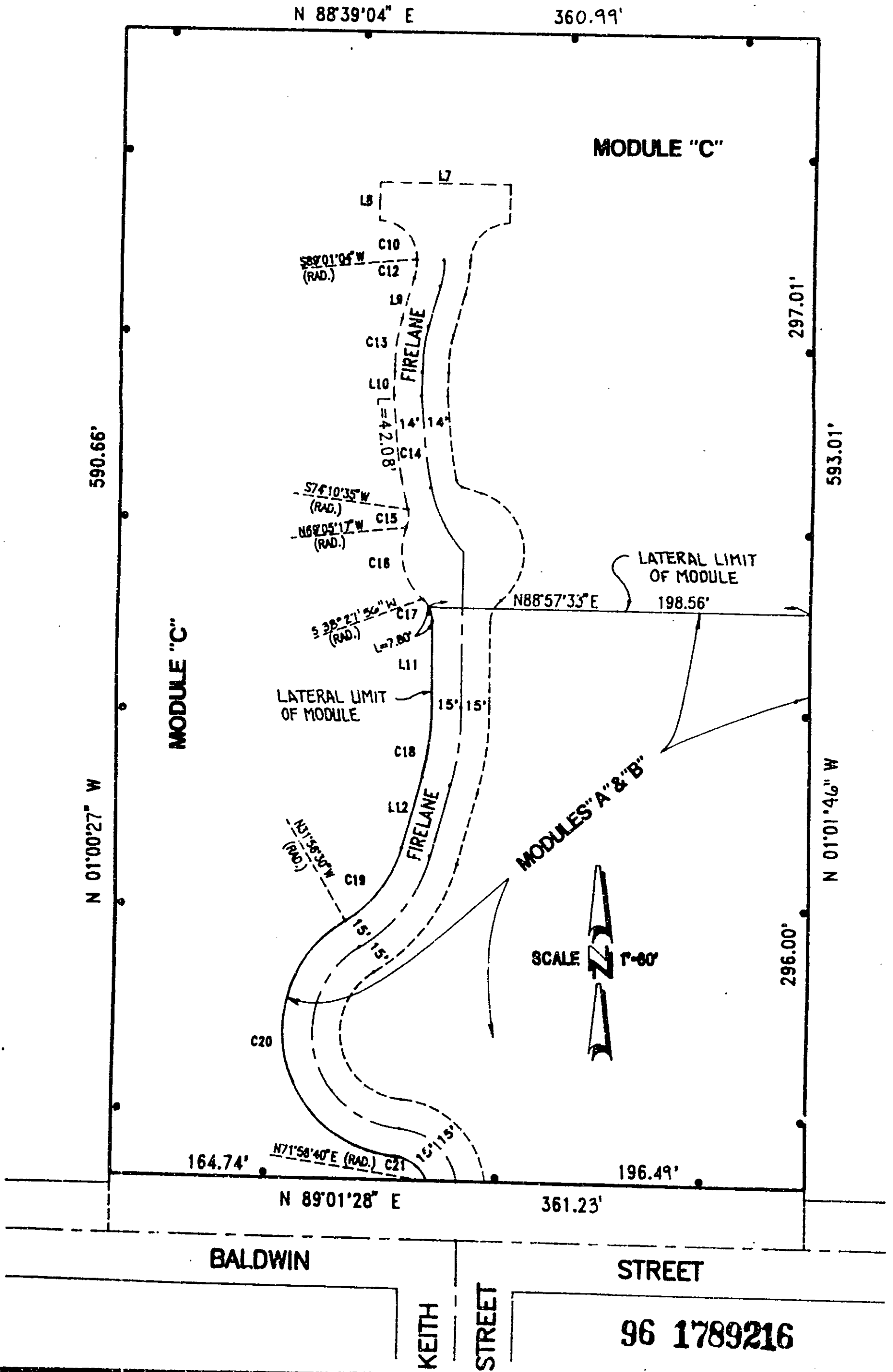
BENCH MARK:

ELEVATION: 402.944 (1960)
LOS ANGELES CITY BENCH MARK NO. 1103995 STD. SURVEY MON. ON CENTERLINE LINCOLN PARK AV. PROD FROM SOUTH, 10 FT S OF N CURB LINE PROD N BROADWAY.

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CONDOMINIUM PLAN TRACT NO. 50779

SEE NEXT SHEET FOR CURVE & LINE TABLE DATA



CONDOMINIUM PLAN

TRACT NO. 50779

8

LINE DATA

| LINE | DIRECTION | DISTANCE |
|-----------|--------------|----------|
| L7 | N89°01'04" E | 68.00' |
| L8 (RAD.) | N00°58'56" W | 20.00' |
| L9 | N14°51'43" E | 21.52' |
| L10 | N00°54'56" W | 12.00' |
| L11 | N01°11'58" W | 43.84' |
| L12 | N14°32'56" E | 38.51' |

CURVE DATA

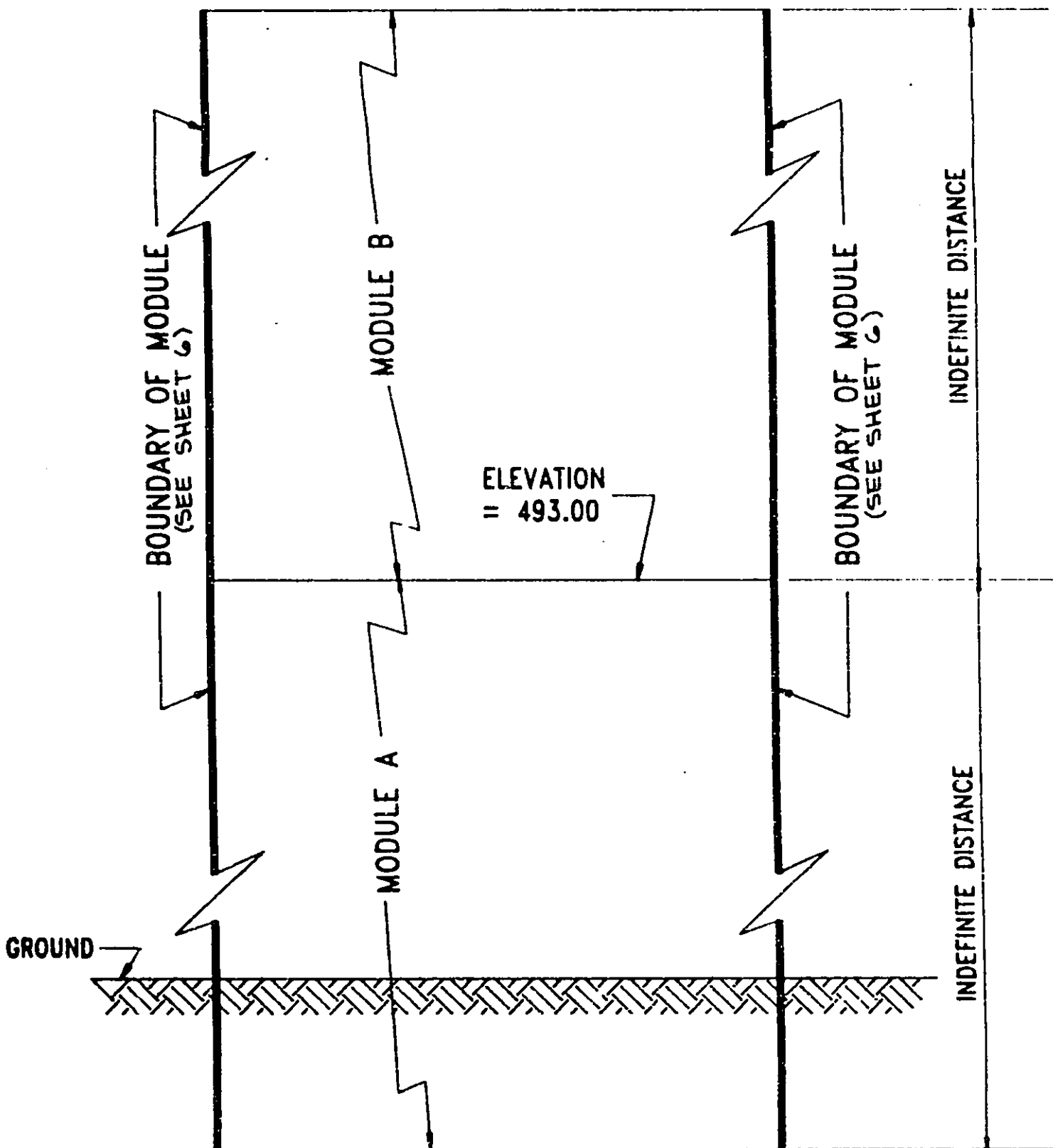
| CURVE | RADIUS | LENGTH | TANGENT | DELTA |
|-------|---------|---------|---------|------------|
| C10 | 20.00' | 31.42' | 20.00' | 90°00'00" |
| C12 | 38.00' | 9.96' | 5.01' | 15°50'39" |
| C13 | 100.00' | 27.54' | 13.88' | 15°48'59" |
| C14 | 228.00' | 59.32' | 29.83' | 14°54'29" |
| C15 | 15.00' | 9.62' | 4.98' | 35°44'08" |
| C16 | 32.00' | 40.46' | 23.44' | 72°26'47" |
| C17 | 15.00' | 13.18' | 7.05' | 50°20'06" |
| C18 | 135.00' | 37.11' | 18.67' | 15°44'54" |
| C19 | 65.00' | 48.36' | 25.94' | 43°30'34" |
| C20 | 65.00' | 185.07' | 209.37' | 145°30'20" |
| C21 | 17.00' | 20.59' | 11.77' | 89°23'50" |

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CONDOMINIUM PLAN

TRACT NO. 50779

9



SIDE VIEW OF MODULES

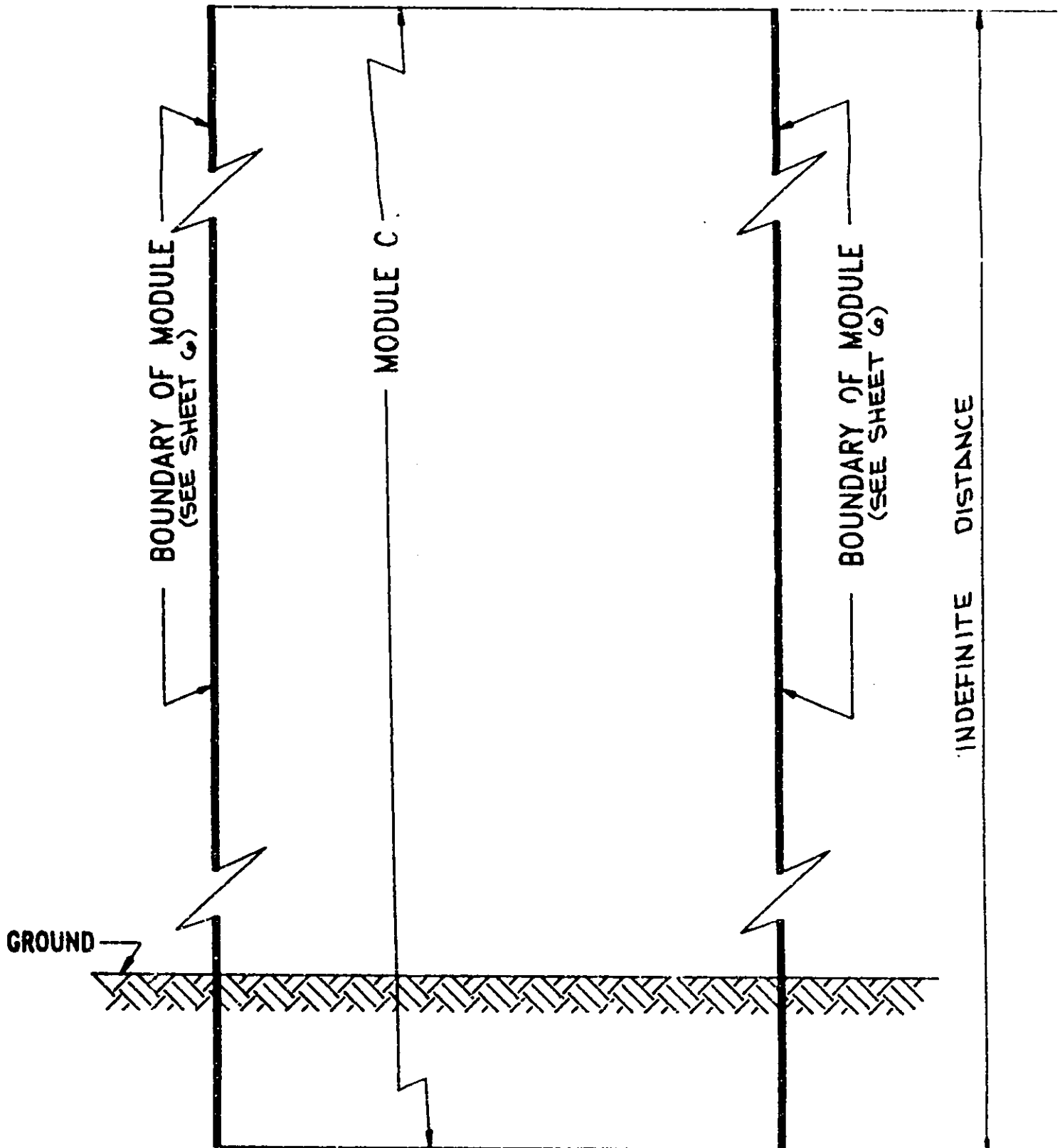
A AND B

NO SCALE

96 1789216

CONDOMINIUM PLAN

TRACT NO. 50779



SIDE VIEW OF MODULE C

96 1789216

NO SCALE

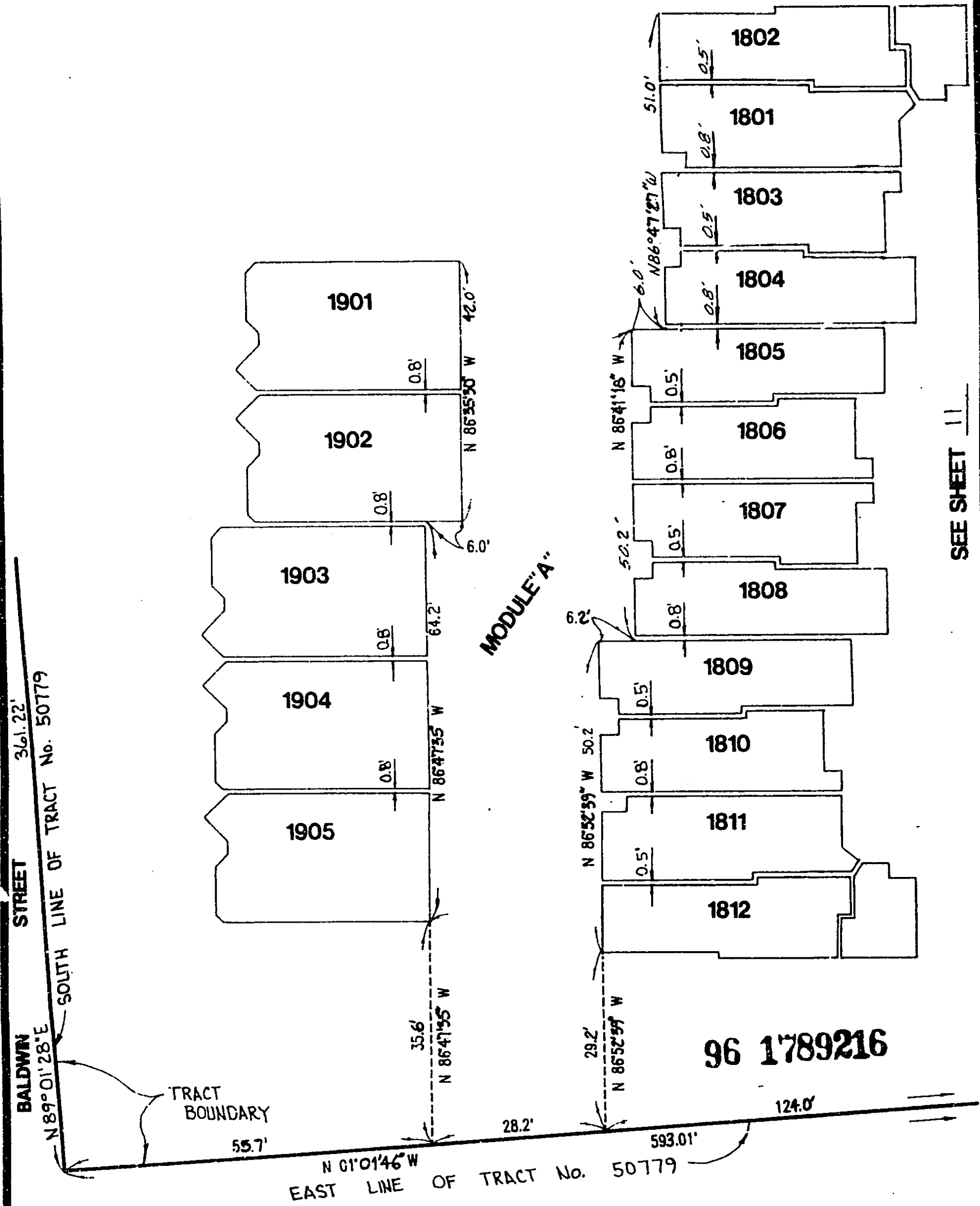
CONDOMINIUM PLAN TRACT NO. 50779 GARAGE LEVEL

11



SCALE

1" = 20'

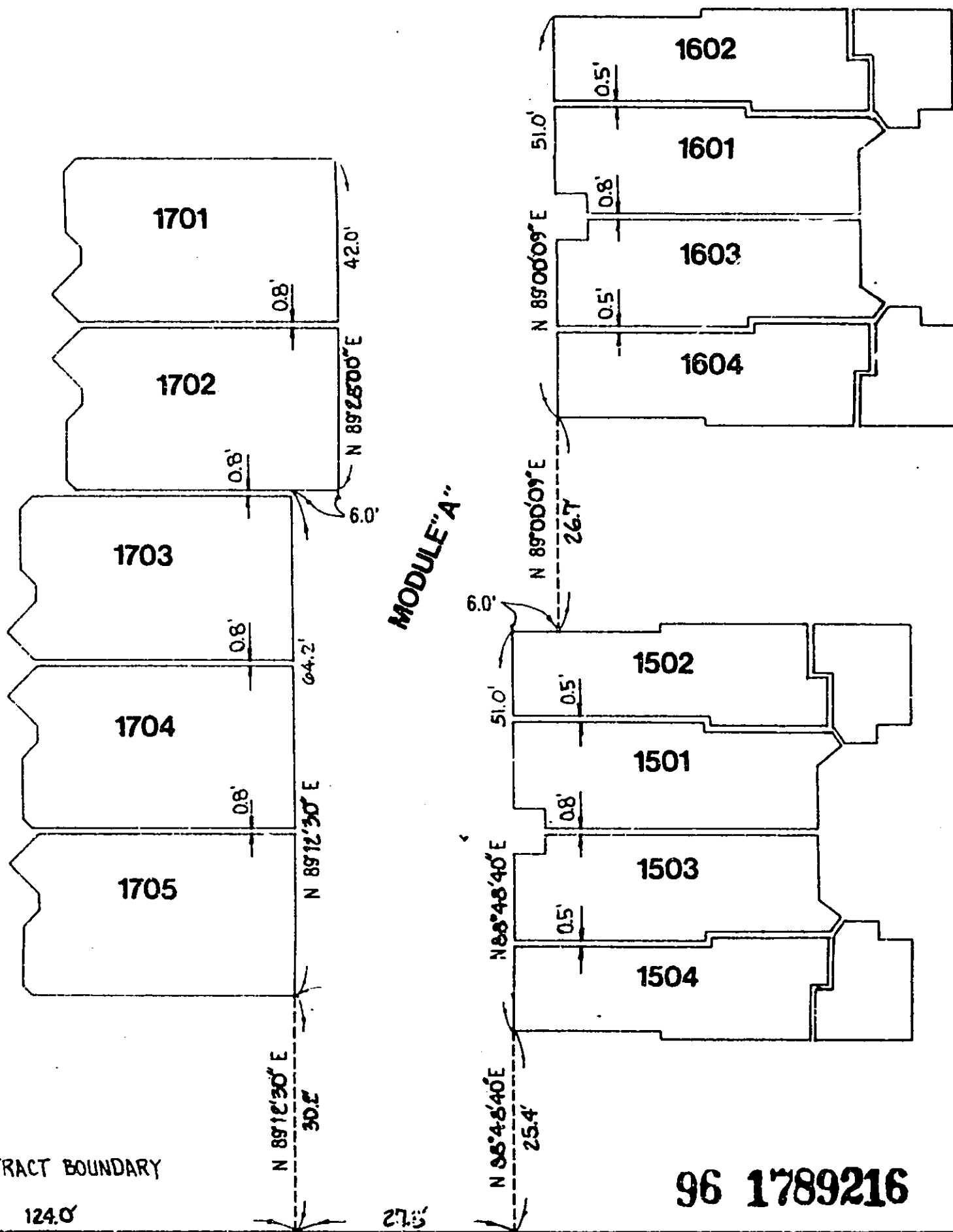


SEE SHEET 11

CONDOMINIUM PLAN TRACT NO. 50779 GARAGE LEVEL



SEE SHEET 10



TRACT BOUNDARY

124.0'

N 01°01'46" W

27.5'

593.01'

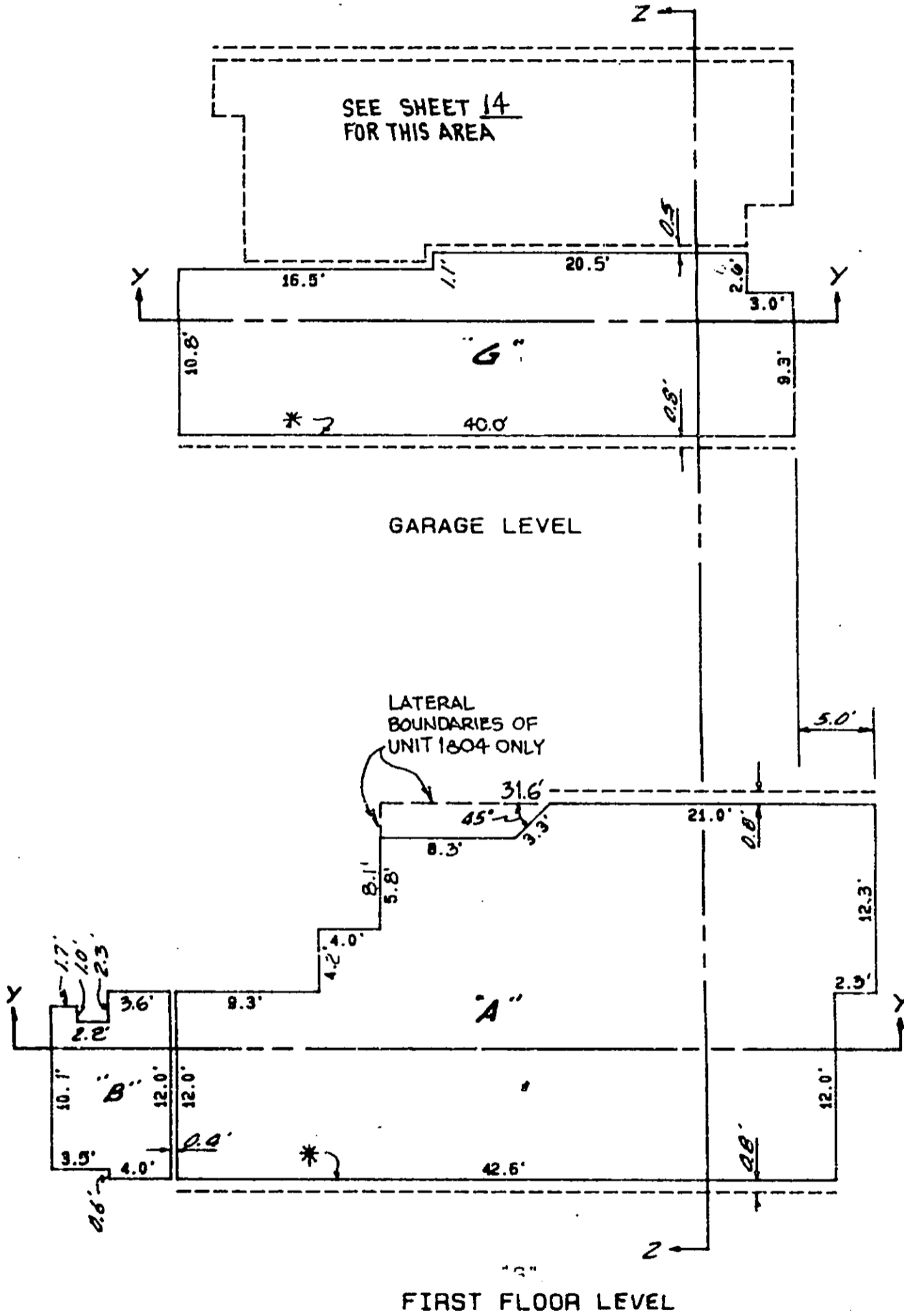
EAST LINE OF TRACT No. 50779

96 1789216

DIAGRAMMATIC FLOOR PLAN

NOTE:

1. TYPICAL PLAN FOR UNITS: 1805, 1809.
2. TYPICAL PLAN REVERSED FOR UNITS: 1804, 1808.
3. SEE SHEET 13 FOR SECTION VIEWS.
4. * = COMMON WALL WITH ABOVE OR BELOW.
5. --- = ADJACENT UNIT (TYPICAL)



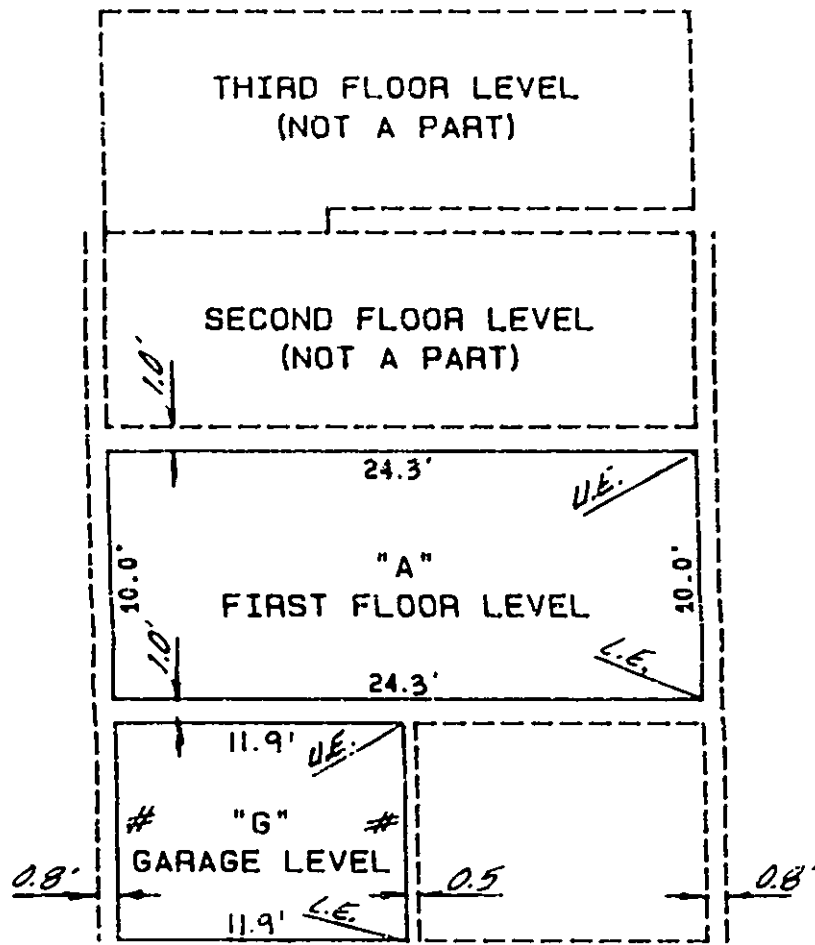
96 1789216

SECTION VIEWS

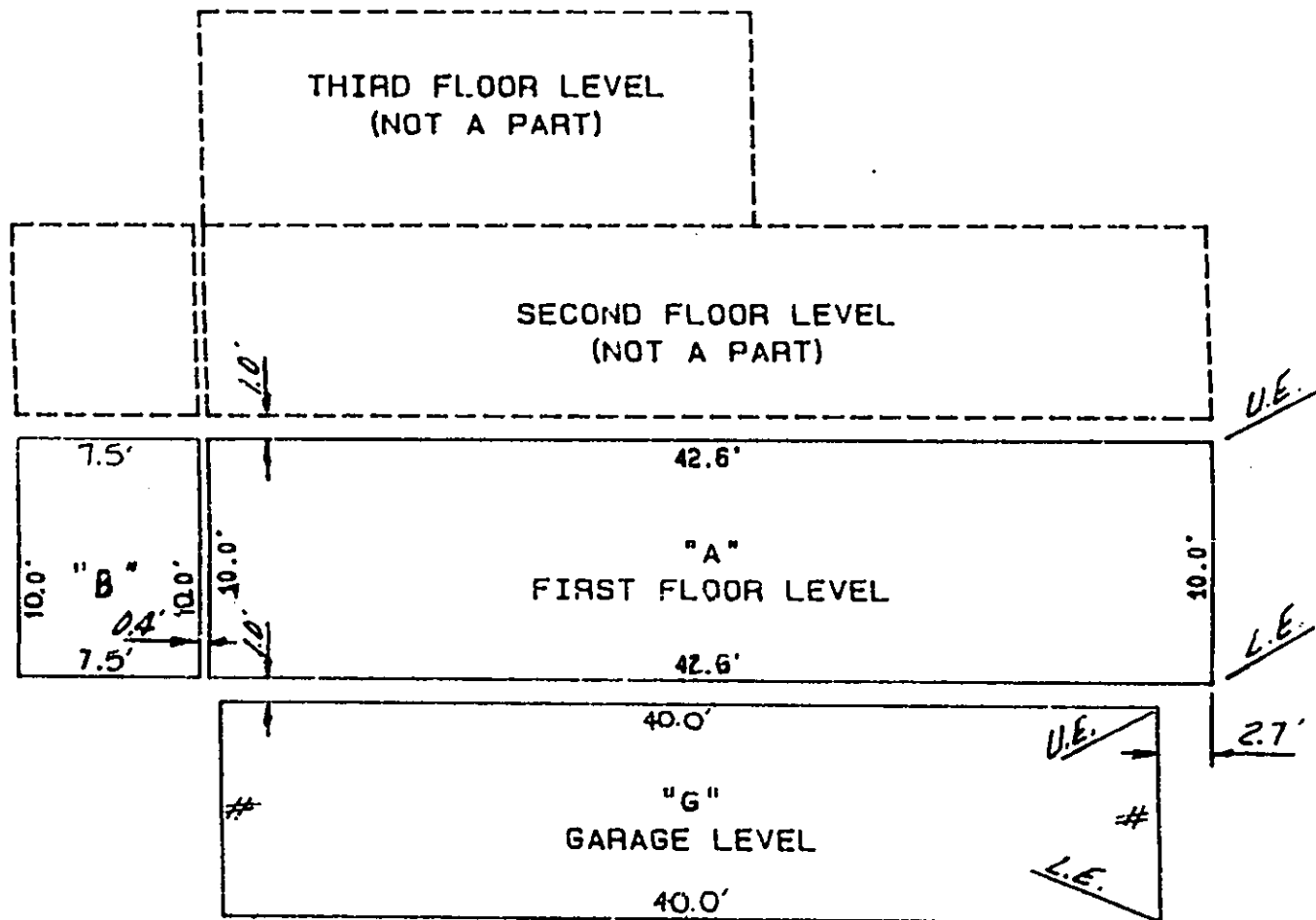
14

NOTE:

1. SEE SHEET 12 FOR PLAN VIEWS.
2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT (#).
4. --- = ADJACENT UNIT (TYPICAL).



SECTION Z-Z



SECTION Y-Y

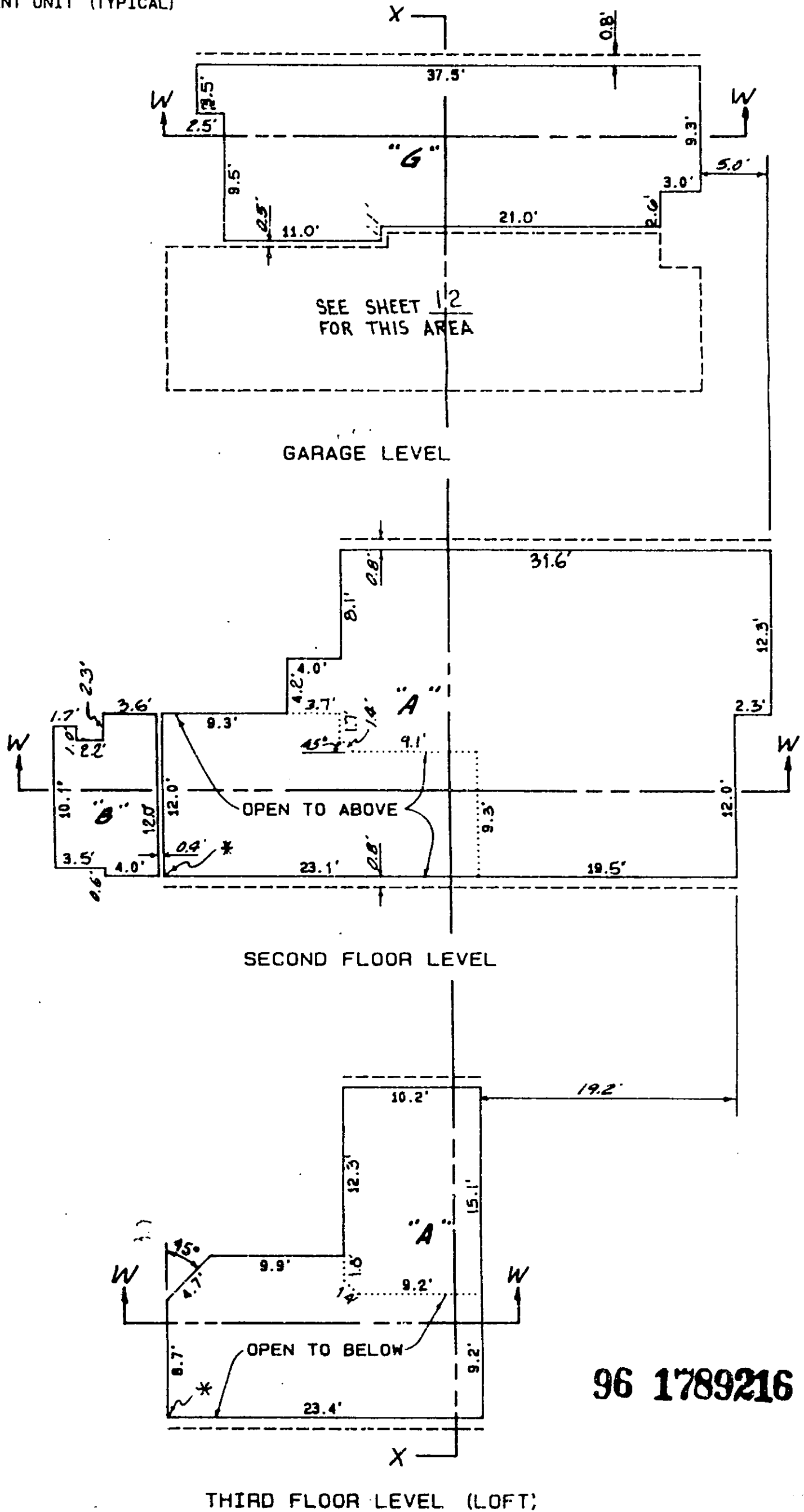
96 1789216

DIAGRAMMATIC FLOOR PLAN

15

NOTE:

- 1. TYPICAL PLAN FOR UNITS: 1806, 1810.
- 2. TYPICAL PLAN REVERSED FOR UNITS: 1803, 1807.
- 3. SEE SHEET 15 FOR SECTION VIEWS.
- 4. * = COMMON CORNER WITH ABOVE OR BELOW.
- 5. --- = ADJACENT UNIT (TYPICAL)



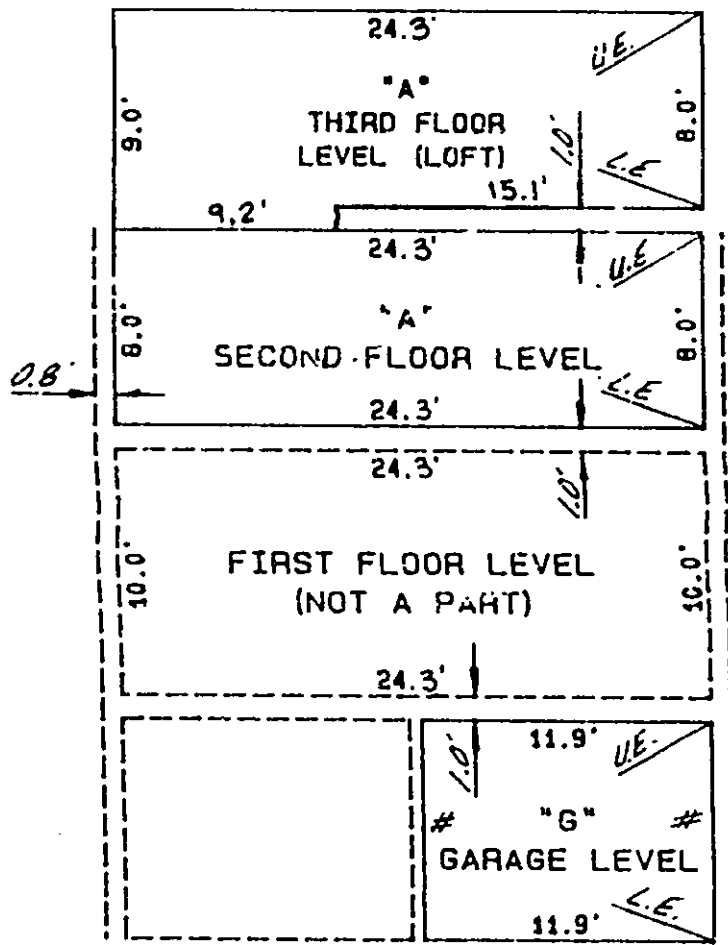
96 1789216

SECTION VIEWS

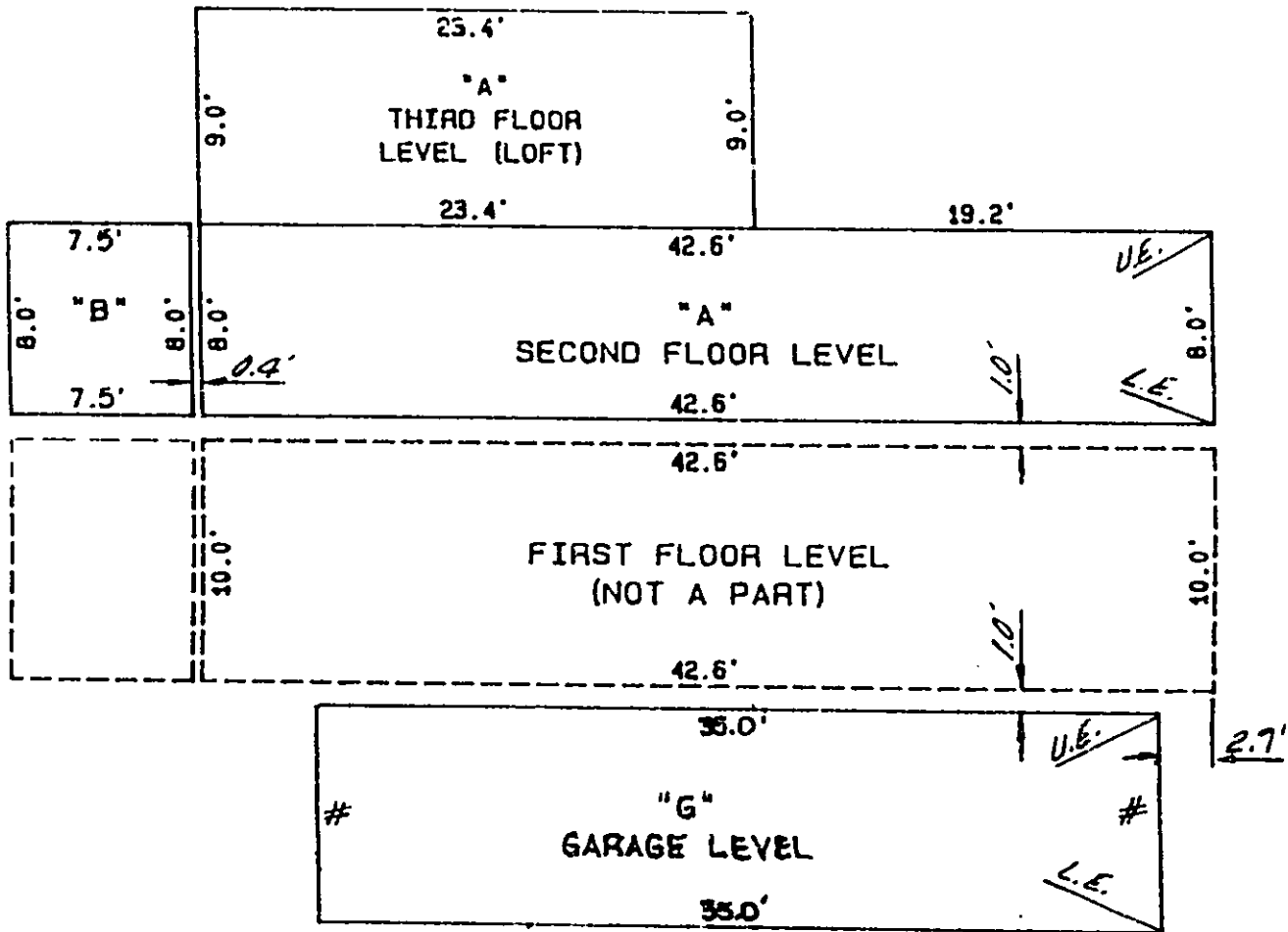
16

NOTE:

1. SEE SHEET 14 FOR PLAN VIEWS.
2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT (#).
4. --- = ADJACENT UNIT (TYPICAL).



SECTION X-X



SECTION W-W

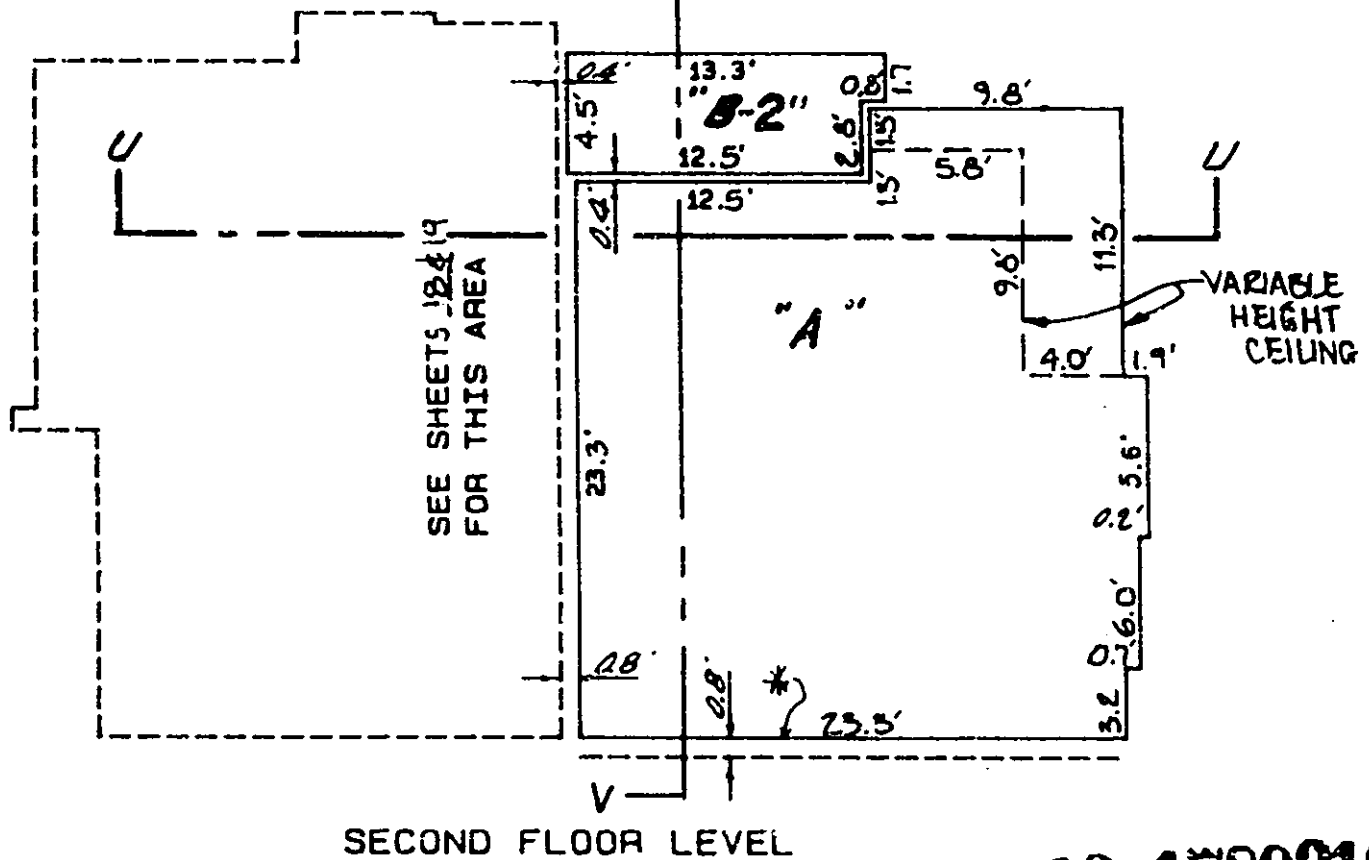
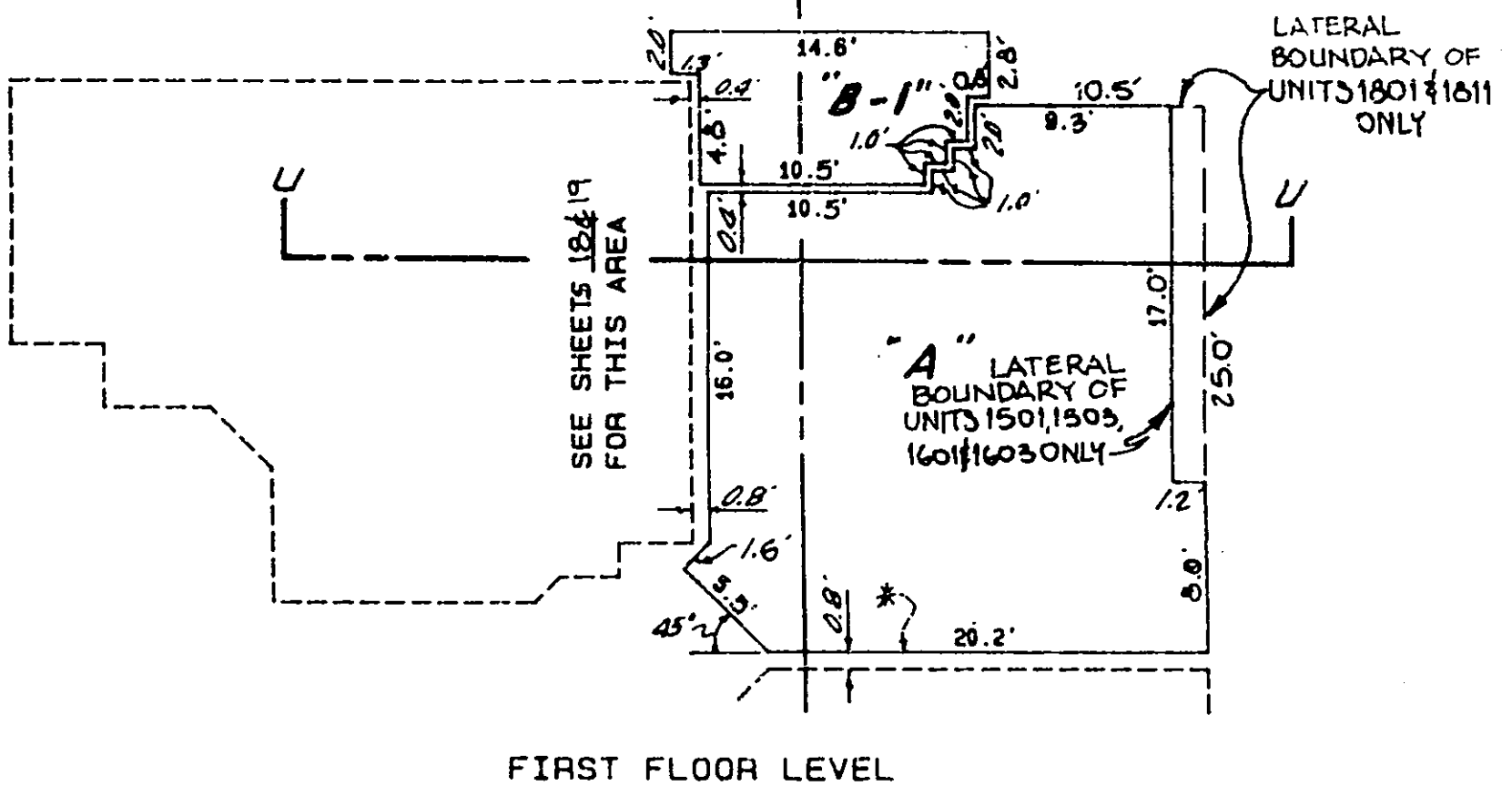
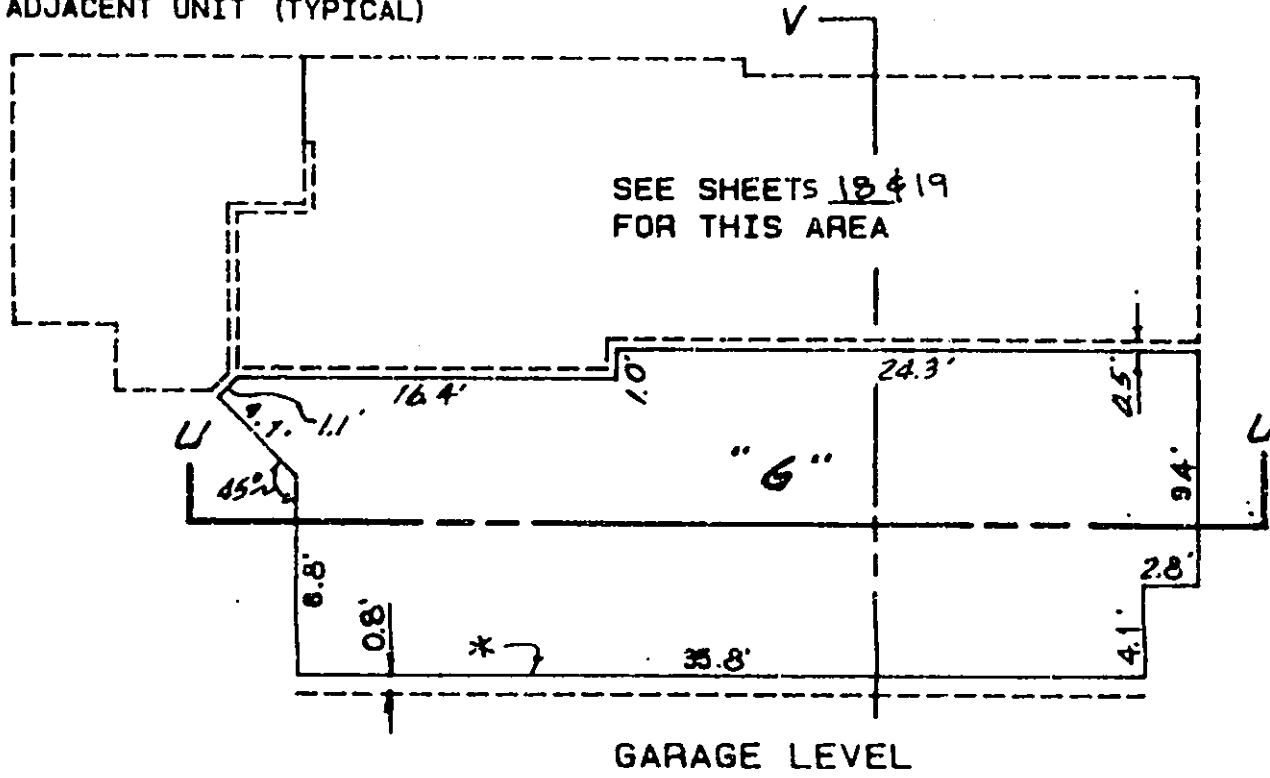
96 1789216

DIAGRAMMATIC FLOOR PLAN

17

NOTE:

1. TYPICAL PLAN FOR UNITS: 1503, 1603, 1811.
2. TYPICAL PLAN REVERSED FOR UNITS: 1501, 1601, 1801.
3. SEE SHEET 17 FOR SECTION VIEWS.
4. * = COMMON WALL WITH ABOVE OR BELOW.
5. --- = ADJACENT UNIT (TYPICAL)

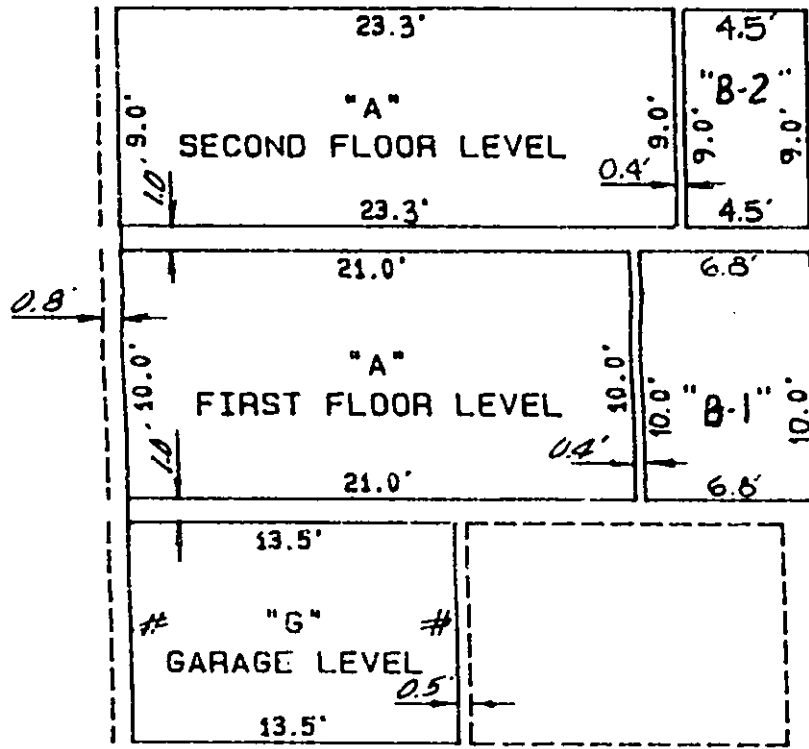


SECTION VIEWS

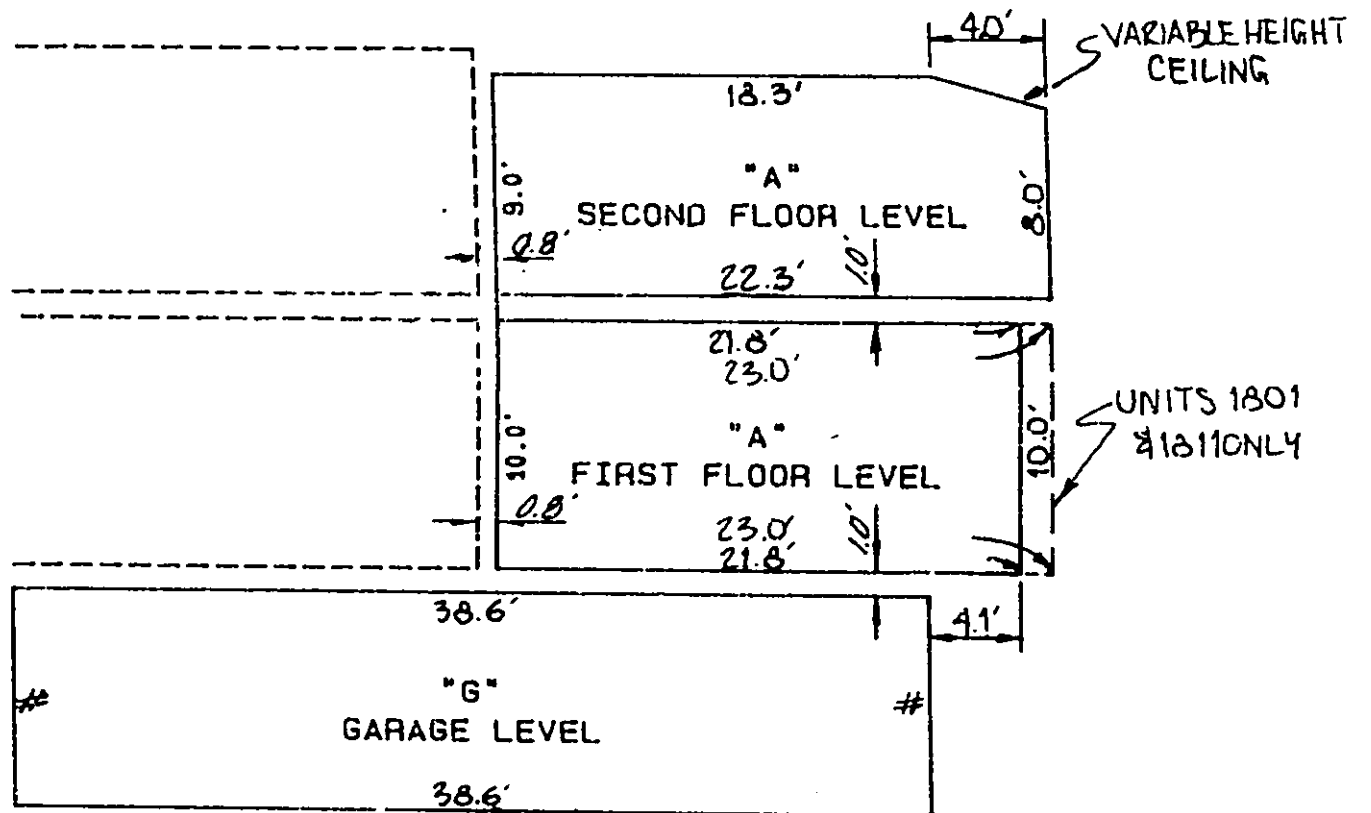
18

NOTE:

1. SEE SHEET 16 FOR PLAN VIEWS
2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT (#).
4. --- = ADJACENT UNIT (TYPICAL).



SECTION V-V



SECTION U-U

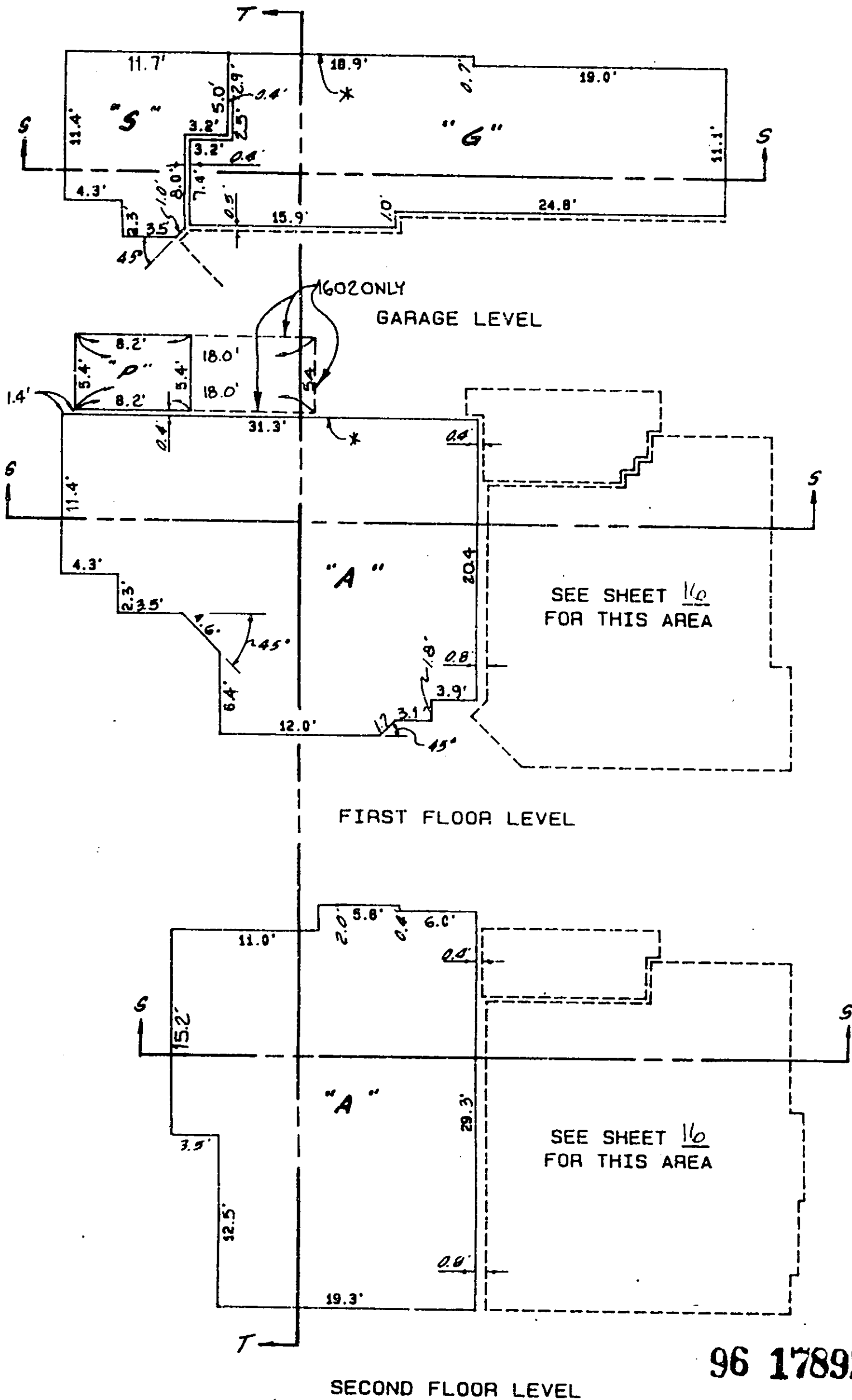
96 1789216

DIAGRAMMATIC FLOOR PLAN

19

NOTE:

- 1. TYPICAL PLAN FOR UNITS: 1504, 1604.
- 2. TYPICAL PLAN REVERSED FOR UNITS: 1602.
- 3. SEE SHEET 20 FOR SECTION VIEWS.
- 4. * = COMMON WALL WITH ABOVE OR BELOW.
- 5. --- = ADJACENT UNIT (TYPICAL)

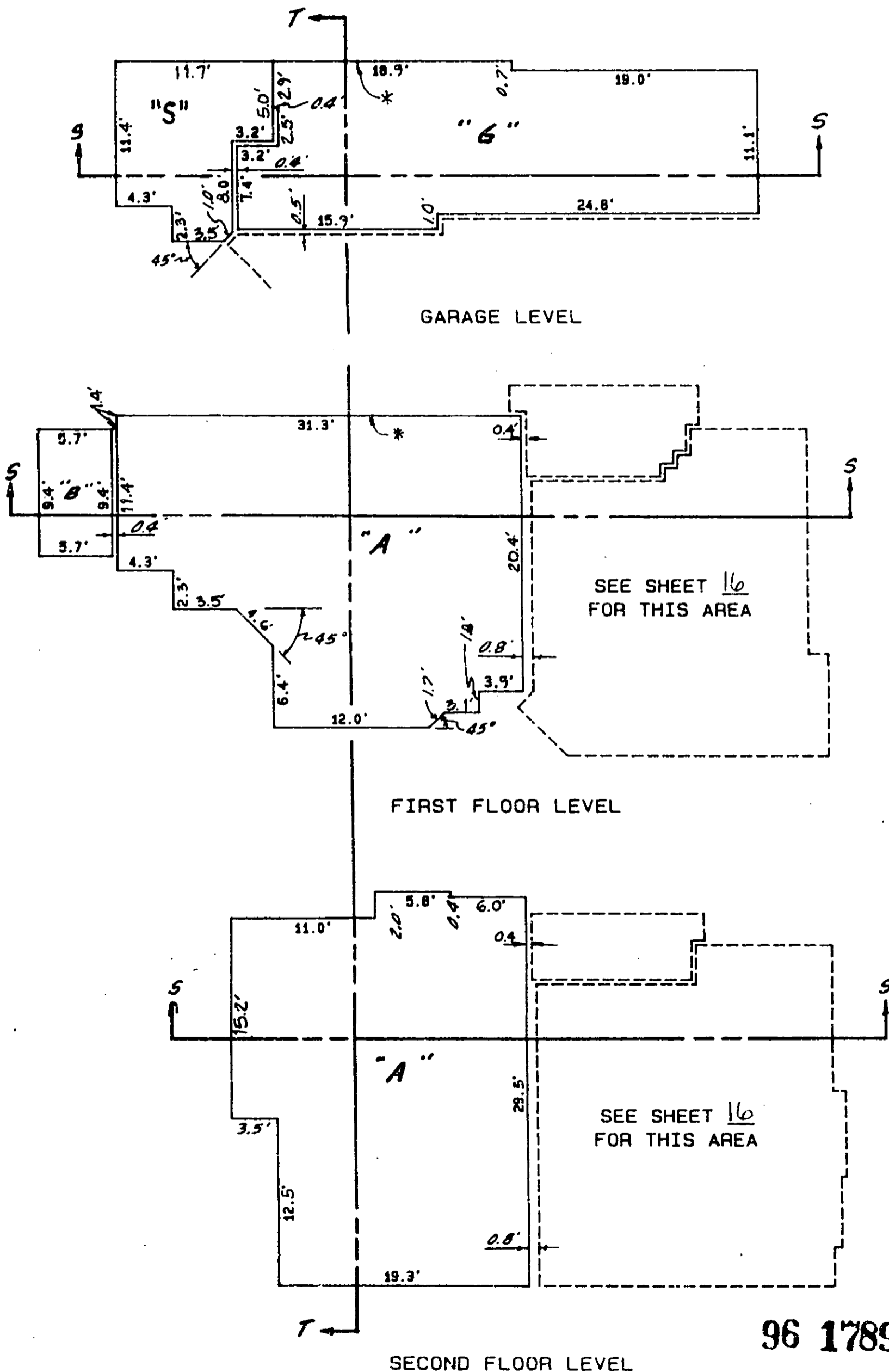


96 1789216

DIAGRAMMATIC FLOOR PLAN

NOTE:

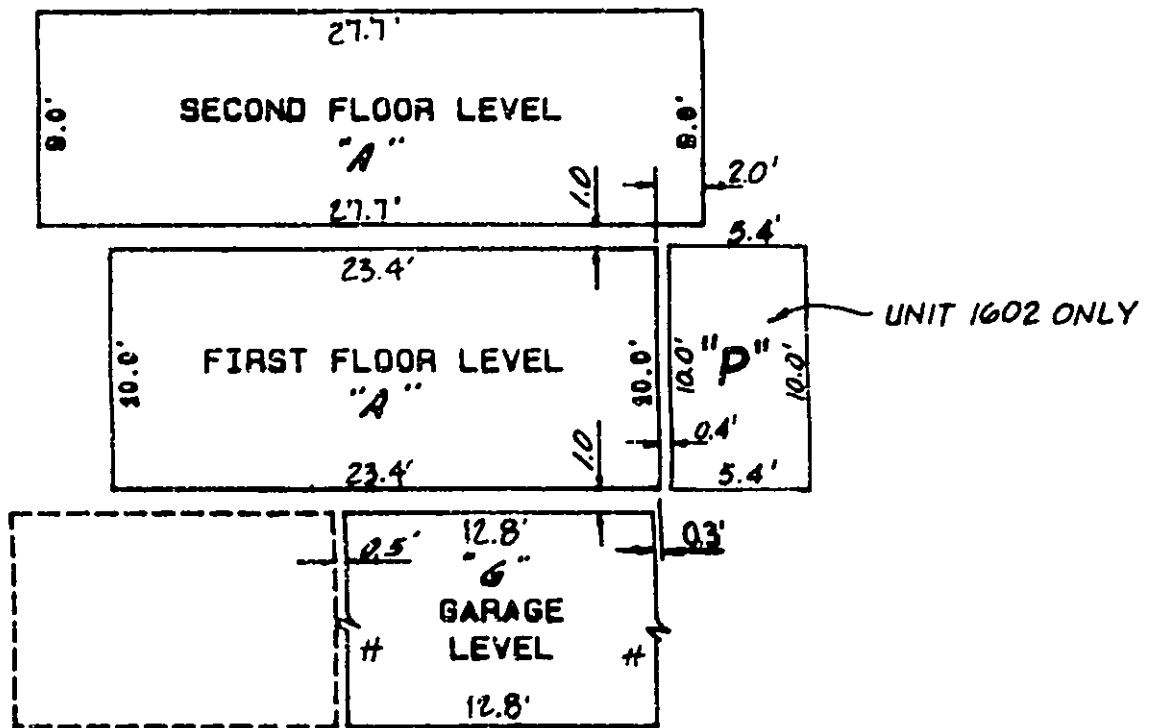
- 1. TYPICAL PLAN FOR UNITS: 1612.
- 2. TYPICAL PLAN REVERSED FOR UNITS: 1502, 1802.
- 3. SEE SHEET 20 FOR SECTION VIEWS.
- 4. * = COMMON WALL WITH ABOVE OR BELOW.
- 5. --- = ADJACENT UNIT (TYPICAL)



SECTION VIEWS

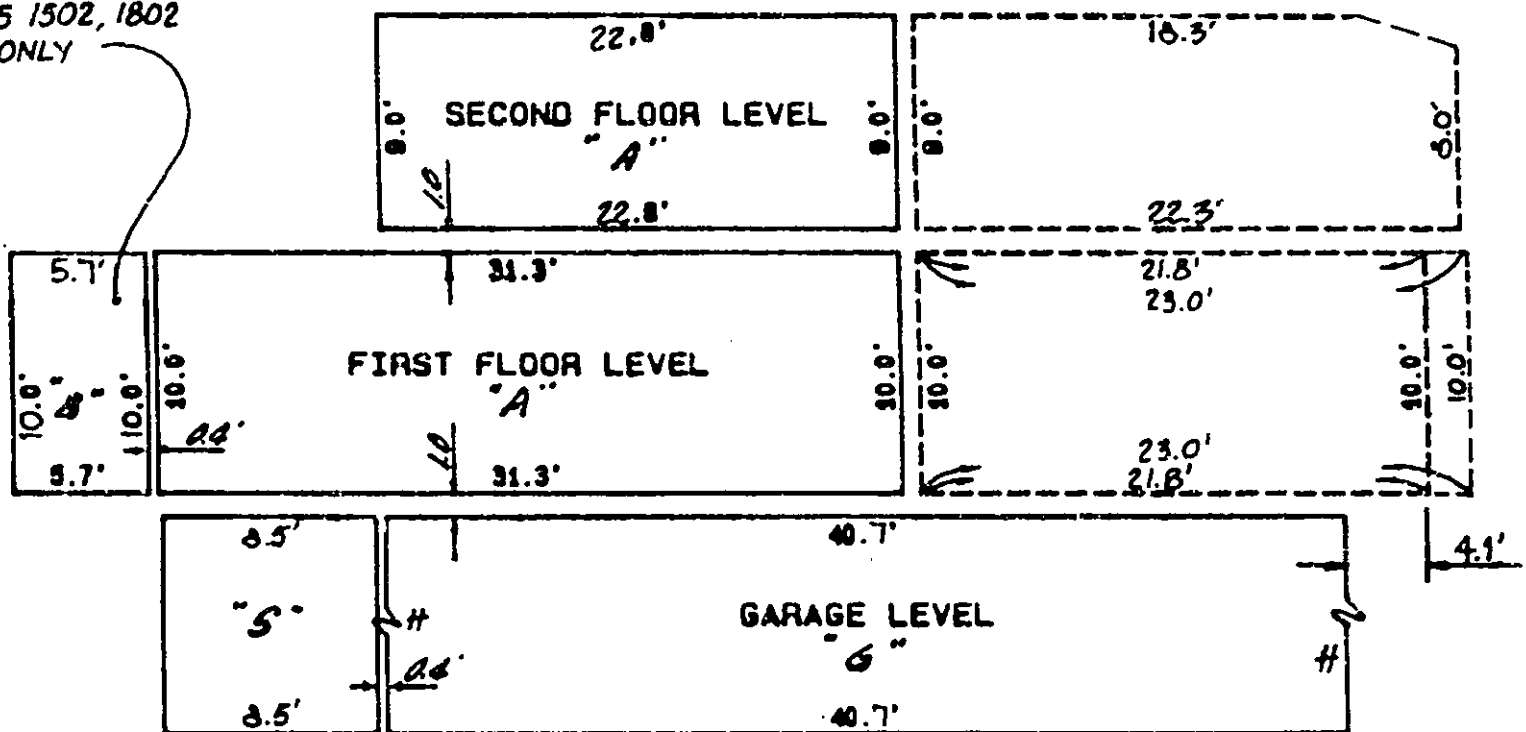
NOTE:

- 1. SEE SHEETS 18 & 19 FOR PLAN VIEWS
- 2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
- 3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT. (#)
- 4. --- = ADJACENT UNIT (TYPICAL).



SECTION T-T

FOR UNITS 1502, 1802 AND 1812 ONLY



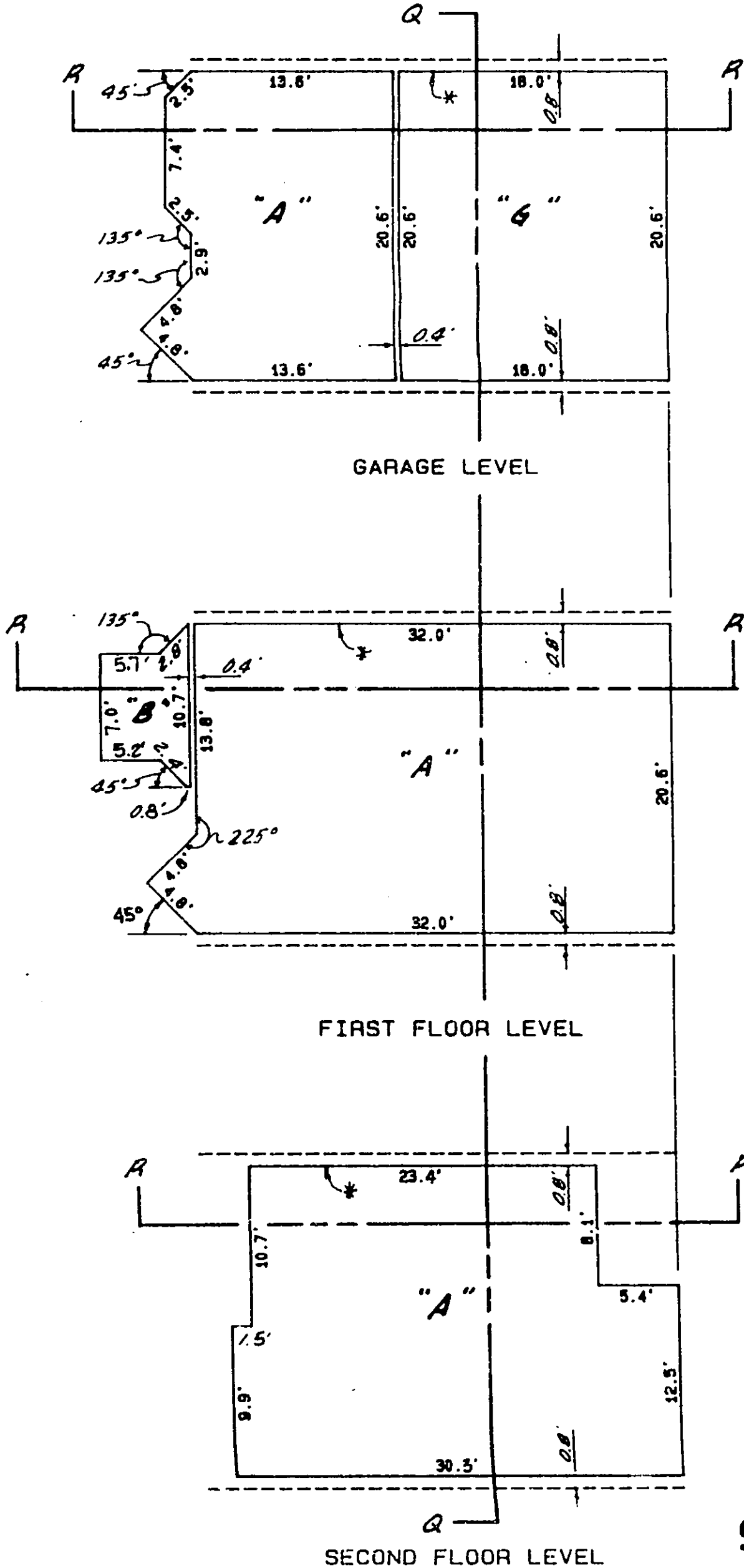
SECTION S-S

96 1789216

DIAGRAMMATIC FLOOR PLAN

NOTE:

1. TYPICAL PLAN FOR UNITS: 1703, 1903.
2. TYPICAL PLAN REVERSED FOR UNITS: 1702, 1704, 1902, 1904.
3. SEE SHEET 22 FOR SECTION VIEWS.
4. * = COMMON WALL WITH ABOVE OR BELOW.
5. --- = ADJACENT UNIT (TYPICAL)

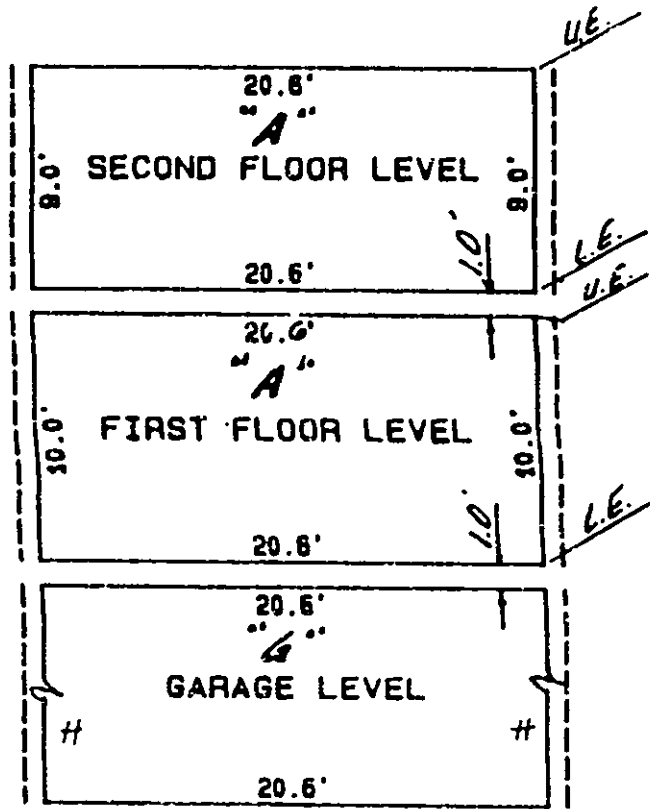


96 1789216

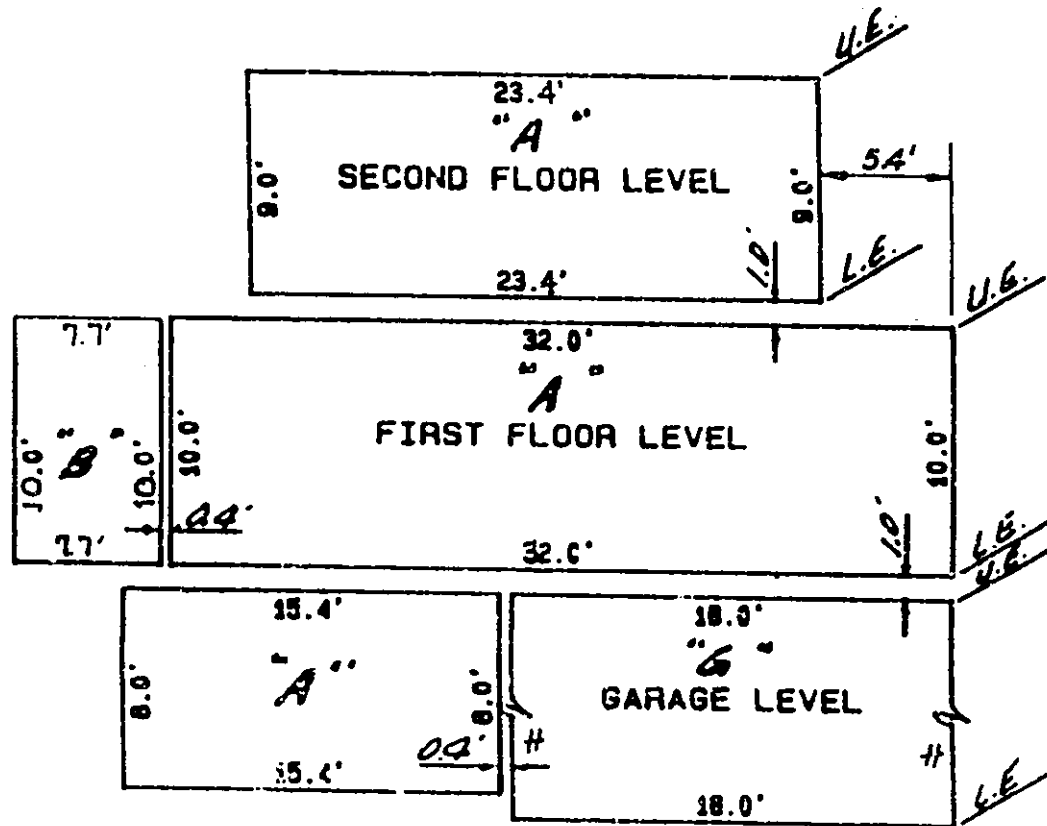
SECTION VIEWS

NOTE:

1. SEE SHEET 21 FOR PLAN VIEWS
2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT. (#)
4. --- = ADJACENT UNIT (TYPICAL).



SECTION Q-Q



SECTION R-R

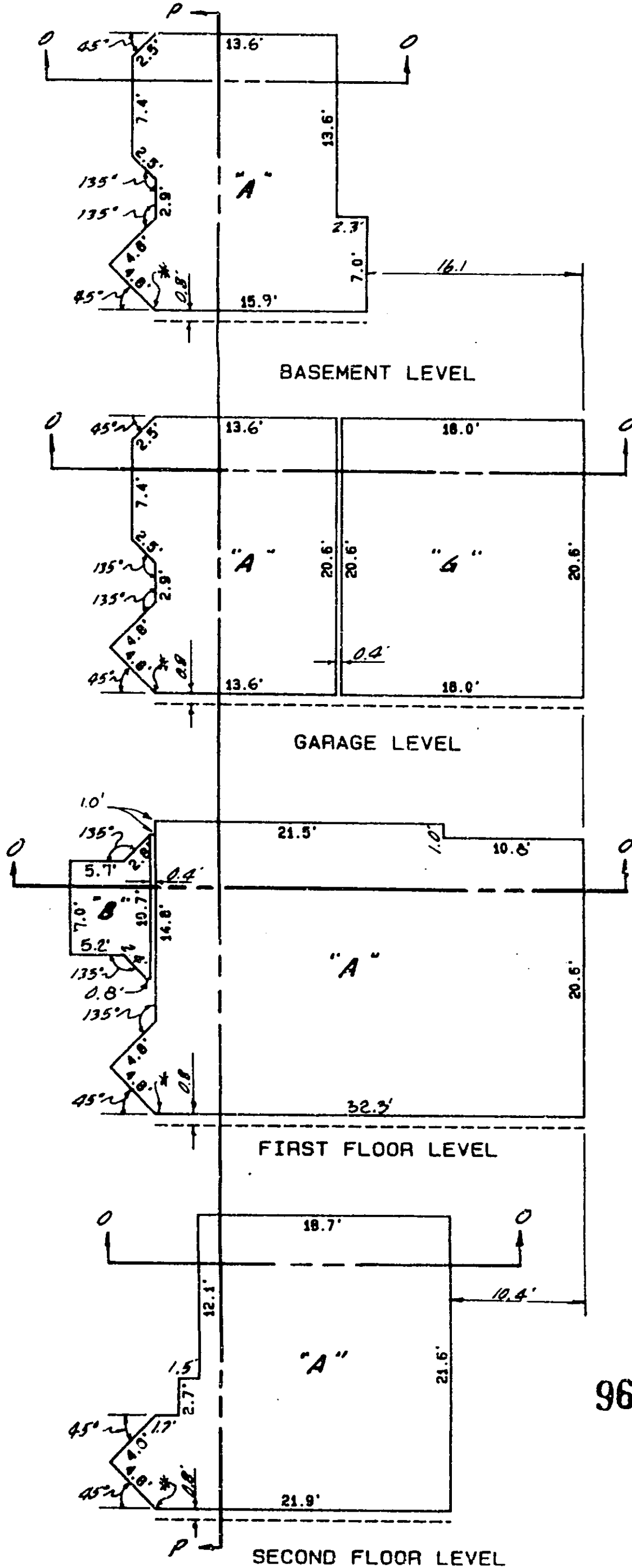
96 1789216

DIAGRAMMATIC FLOOR PLAN

24

NOTE:

- 1. TYPICAL PLAN FOR UNITS: 1701, 1901.
- 2. TYPICAL PLAN REVERSED FOR UNITS: 1705, 1905.
- 3. SEE SHEET 24 FOR SECTION VIEWS.
- 4. * = COMMON CORNER WITH ABOVE OR BELOW.
- 5. --- = ADJACENT UNIT (TYPICAL)

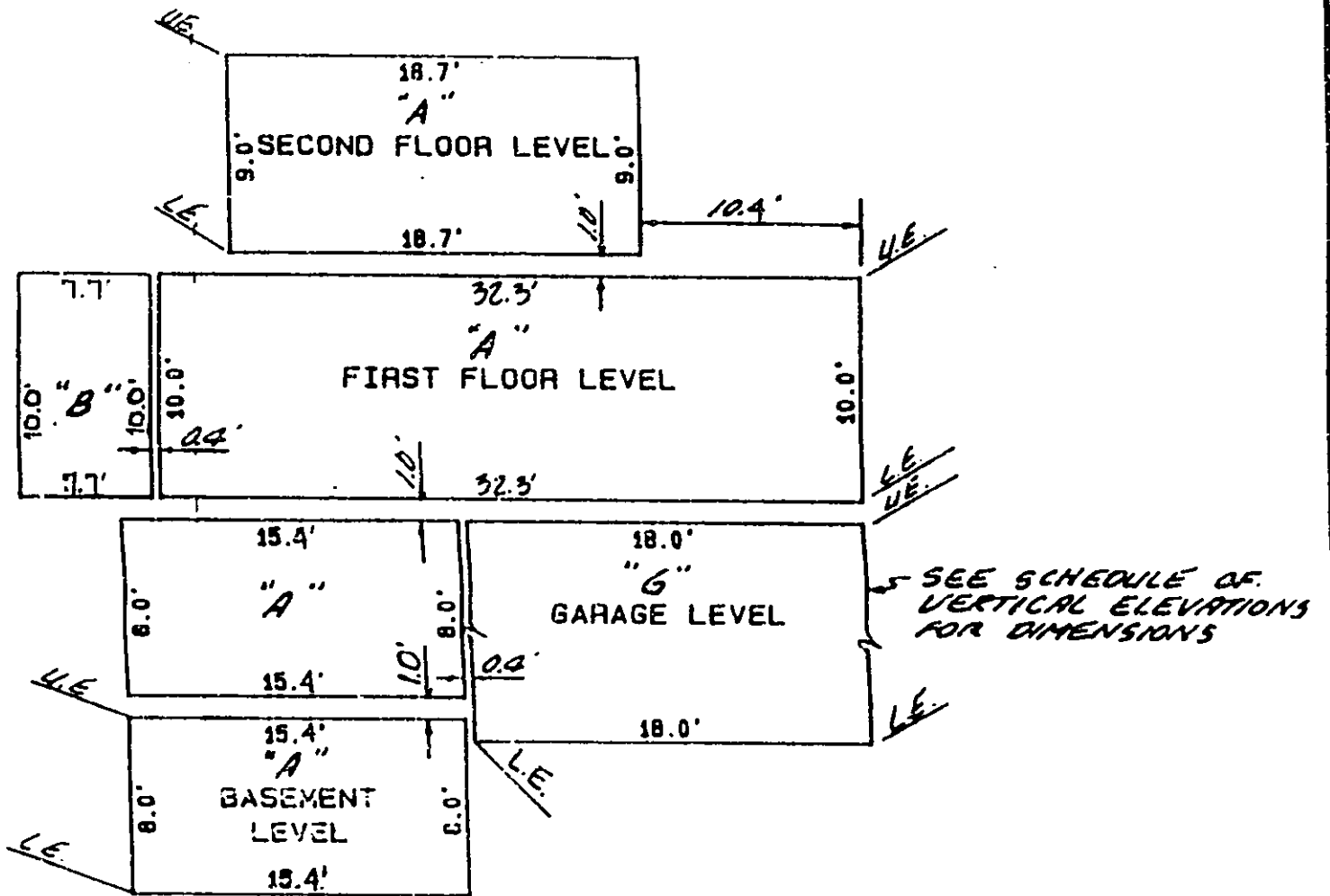


96 1789216

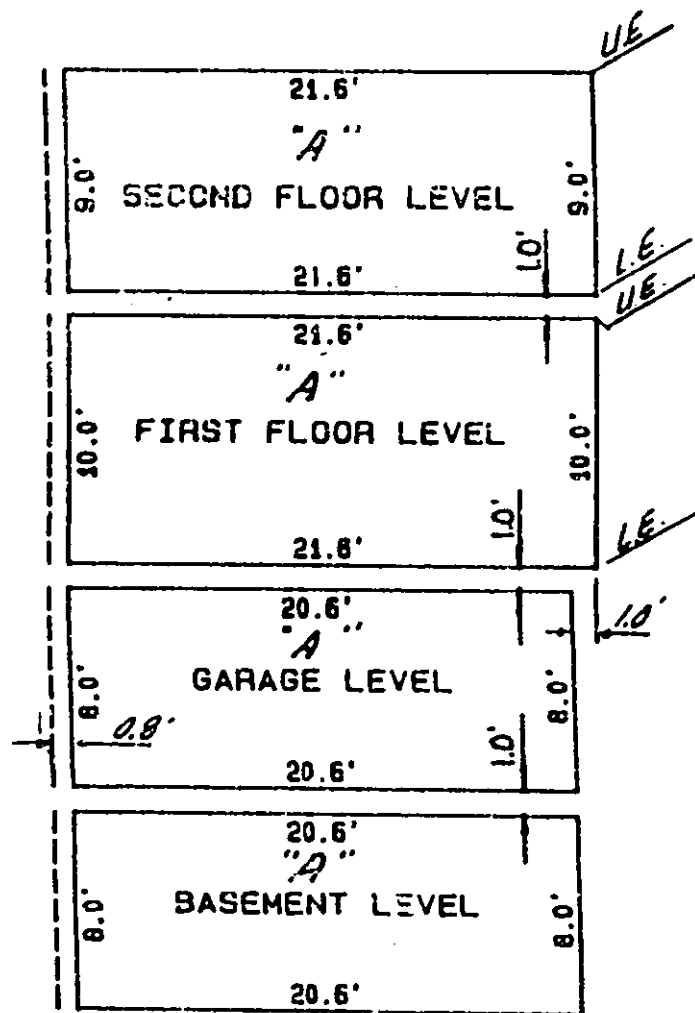
SECTION VIEWS

NOTE:

- 1. SEE SHEET 23 FOR PLAN VIEWS
- 2. SECTION VIEWS DO NOT REFLECT ANY LOWERED CEILINGS THAT MAY OCCUR WITHIN UNITS.
- 3. SEE SCHEDULE OF VERTICAL ELEVATIONS FOR GARAGE HEIGHT.
- 4. --- = ADJACENT UNIT (TYPICAL)



SECTION 0-0



SECTION P-P

96 1789216

SCHEDULE OF VERTICAL ELEVATION

- NOTE:
1. LE = Lower Elevation
 2. NA = Not Applicable
 3. UE = Upper Elevation
 4. All elevations are to finished surface

| UNIT # | BLDG TYPE | BASEMENT LEVEL | | GARAGE LEVEL | | 1ST FLOOR LEVEL | | 2ND FLOOR LEVEL | | 3RD FLOOR LEVEL | |
|--------|-----------|----------------|-------|--------------|-------|-----------------|-------|-----------------|-------|-----------------|-------|
| | | LE. | UE. | LE. | UE. | LE. | UE. | LE. | UE. | LE. | UE. |
| 1501 | C | NA | NA | 419.4 | 429.4 | 430.4 | 440.4 | 441.4 | 450.4 | NA | NA |
| 1502 | D | NA | NA | 418.8 | 429.4 | 430.4 | 440.4 | 441.4 | 450.4 | NA | NA |
| 1503 | C | NA | NA | 420.2 | 429.4 | 430.4 | 440.4 | 441.4 | 450.4 | NA | NA |
| 1504 | D | NA | NA | 421.0 | 429.4 | 430.4 | 440.4 | 441.4 | 450.4 | NA | NA |
| 1601 | C | NA | NA | 415.5 | 425.5 | 426.5 | 436.5 | 437.5 | 446.5 | NA | NA |
| 1602 | D | NA | NA | 414.9 | 425.5 | 426.5 | 436.5 | 437.5 | 446.5 | NA | NA |
| 1603 | C | NA | NA | 416.4 | 425.5 | 426.5 | 436.5 | 437.5 | 446.5 | NA | NA |
| 1604 | D | NA | NA | 417.2 | 425.5 | 426.5 | 436.5 | 437.5 | 446.5 | NA | NA |
| 1701 | F | 410.3 | 418.3 | 416.3 | 427.3 | 428.3 | 438.3 | 439.3 | 448.3 | NA | NA |
| 1702 | E | NA | NA | 417.5 | 431.2 | 432.2 | 442.2 | 443.2 | 452.2 | NA | NA |
| 1703 | E | NA | NA | 418.4 | 433.2 | 434.2 | 444.2 | 445.2 | 454.2 | NA | NA |
| 1704 | E | NA | NA | 419.7 | 433.2 | 434.2 | 444.2 | 445.2 | 454.2 | NA | NA |
| 1705 | F | 416.2 | 424.2 | 420.8 | 433.2 | 434.2 | 444.2 | 445.2 | 454.2 | NA | NA |
| 1801 | C | NA | NA | 396.9 | 407.4 | 408.4 | 418.4 | 419.4 | 428.4 | NA | NA |
| 1802 | D | NA | NA | 396.6 | 407.4 | 408.4 | 418.4 | 419.4 | 428.4 | NA | NA |
| 1803 | B | NA | NA | 397.3 | 407.4 | NA | NA | 419.4 | 427.4 | 428.4 | 436.4 |
| 1804 | A | NA | NA | 398.1 | 407.4 | 408.4 | 418.4 | NA | NA | NA | NA |
| 1805 | A | NA | NA | 398.5 | 409.3 | 410.3 | 420.3 | NA | NA | NA | NA |
| 1806 | B | NA | NA | 399.3 | 409.3 | NA | NA | 421.3 | 429.3 | 430.3 | 438.3 |
| 1807 | B | NA | NA | 399.8 | 409.3 | NA | NA | 421.3 | 429.3 | 430.3 | 438.3 |
| 1808 | A | NA | NA | 400.5 | 409.3 | 410.3 | 420.3 | NA | NA | NA | NA |
| 1809 | A | NA | NA | 400.7 | 411.1 | 412.1 | 422.1 | NA | NA | NA | NA |
| 1810 | B | NA | NA | 401.0 | 411.1 | NA | NA | 423.1 | 431.1 | 432.1 | 440.1 |
| 1811 | C | NA | NA | 402.4 | 411.1 | 412.1 | 422.1 | 423.1 | 432.1 | NA | NA |
| 1812 | D | NA | NA | 403.1 | 411.1 | 412.1 | 422.1 | 423.1 | 432.1 | NA | NA |
| 1901 | F | 392.0 | 400.0 | 398.3 | 409.0 | 410.0 | 420.0 | 421.0 | 430.0 | NA | NA |
| 1902 | E | NA | NA | 399.8 | 409.0 | 410.0 | 420.0 | 421.0 | 430.0 | NA | NA |
| 1903 | E | NA | NA | 400.5 | 410.6 | 411.6 | 421.6 | 422.6 | 431.6 | NA | NA |
| 1904 | E | NA | NA | 401.7 | 410.6 | 411.6 | 421.6 | 422.6 | 431.6 | NA | NA |
| 1905 | F | 393.6 | 401.6 | 403.0 | 410.6 | 411.6 | 421.6 | 422.6 | 431.6 | NA | NA |